

**City of Locust**  
Post Office Box 190  
Locust, North Carolina 28097-0190  
(704) 888-5260

MEMORANDUM

Date: July 31, 2024  
From: Cesar Correa, City Manager  
To: Mayor & City Council  
Subject: Conditional Zoning Site Plan Amendment – Locust Property Holdings

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**BACKGROUND & PETITION INFORMATION**

On May 11<sup>th</sup> Locust City Council approved a conditional zoning to allow the construction of 2 (two) new medical facilities. On May 29, 2024 the applicant, Dr. Jason Martin, submitted a site plan amendment request.

The site plan amendment received a unanimous favorable recommendation from the Locust Planning & Zoning Board during their monthly meeting on June 27, 2024.

**Applicant:** Dr. Jason Martin

**Owner Information:** Locust Property Holdings, LLC

**Existing Zoning:** Highway Commercial – Conditional (HC-C)

**Proposed Zoning:** Highway Commercial – Conditional (HC-C)

**Permitted Uses:** All uses permitted in the Highway Commercial zoning district as shown in Article 2 Section 5 Use Table of the City of Locust Land Development Ordinance, would be permitted on the subject property. The proposed use *Medical/Health Care Offices* is a conditional use in the Highway Commercial District.

**Parcel ID Numbers:** Stanly County PIN#: 556504703584

**Area in Acres:** 1.05 acres.

**Site Description:** This property is part of Dr. Martin’s commercial complex, and it will be serviced through Professional Park Drive.

**Adjacent Land Use:** Commercial (Cabarrus Family Medical, All-State Insurance, proposed Dunkin Donuts) and Vacant.

**Surrounding Zoning:** The property is surrounded by Highway Commercial on all sides

**Utility Service Provider:** The property will be served by public water through Stanly County Utilities, and sewer provided by the City of Locust.

### **EXHIBITS**

1. Application for Zoning Change
2. Approved Site Plan
3. Proposed Site Plan Amendment
4. Proposed Elevations

### **LAND USE PLAN ANALYSIS**

The property lies within the area designated on the adopted 2014 Land Use Plan for commercial uses.

The property is currently zoned Highway Commercial Conditional. The applicant is requesting changes to accommodate additional parking and a retention wall. This amendment is reasonable because the property is adjacent to existing commercial uses, which are components of the overall Locust Property Holdings, LLC development. The amendment allows for the growth and expansion of the City's commercial tax base and sales taxes, thus providing opportunities for local jobs for the community.

### **FINDINGS AND CONCLUSIONS**

The applicant submitted a Site Plan (Exhibit #3) and proposed elevations (Exhibit #4) for the overall development of the property that will be attached to the approval of the conditional rezoning should the City choose to support this request.

Staff has reviewed the Site Plan and finds that it meets the standards of the City of Locust Land Development Ordinance.

### **POLICY IMPLICATIONS**

The City of Locust Land Development ordinance and the North Carolina General statutes require the Planning & Zoning Board to make a recommendation on the zoning amendment.

On June 27, 2024 the Locust Planning & Zoning Board reviewed the site plan amendment petition and voted to recommend ***approval*** of the proposed site plan changes.

Notice of the meeting and this agenda item have been publicized, letters have been mailed to all adjacent property owners within 500ft of the subject property, and a zoning hearing sign has been posted on the property.

The Council may vote to recommend approval, denial, or to modify the recommended classification in accordance with the adopted 2014 Land Use Plan.

### **SUGGESTED MOTION LANGUAGE**

The following suggested motion language is provided as a guideline to assist the Council with references required for zoning amendments. The language may be altered as deemed appropriate by any member of the City Council in the making of a motion.

Suggested motion: “To approve the conditional rezoning site plan amendment request with the associated site plan and proposed elevations, and find it to be consistent with the 2014 Land Use Plan.



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Post Office Box 190  
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(704) 888-5260

**Application for Conditional Zoning Change**

Date: 5/29/24

Applicant Name: Dr. Jason Martin

Company Name (if applicable): Locust Property Holdings, LLC

Address: 212 VANDERBILT BLVD

Phone Number: 910.723.1623

Address of Property Change: 122 Professional Park Drive

Present Zoning District: Highway Commercial - Conditional (HC-C)

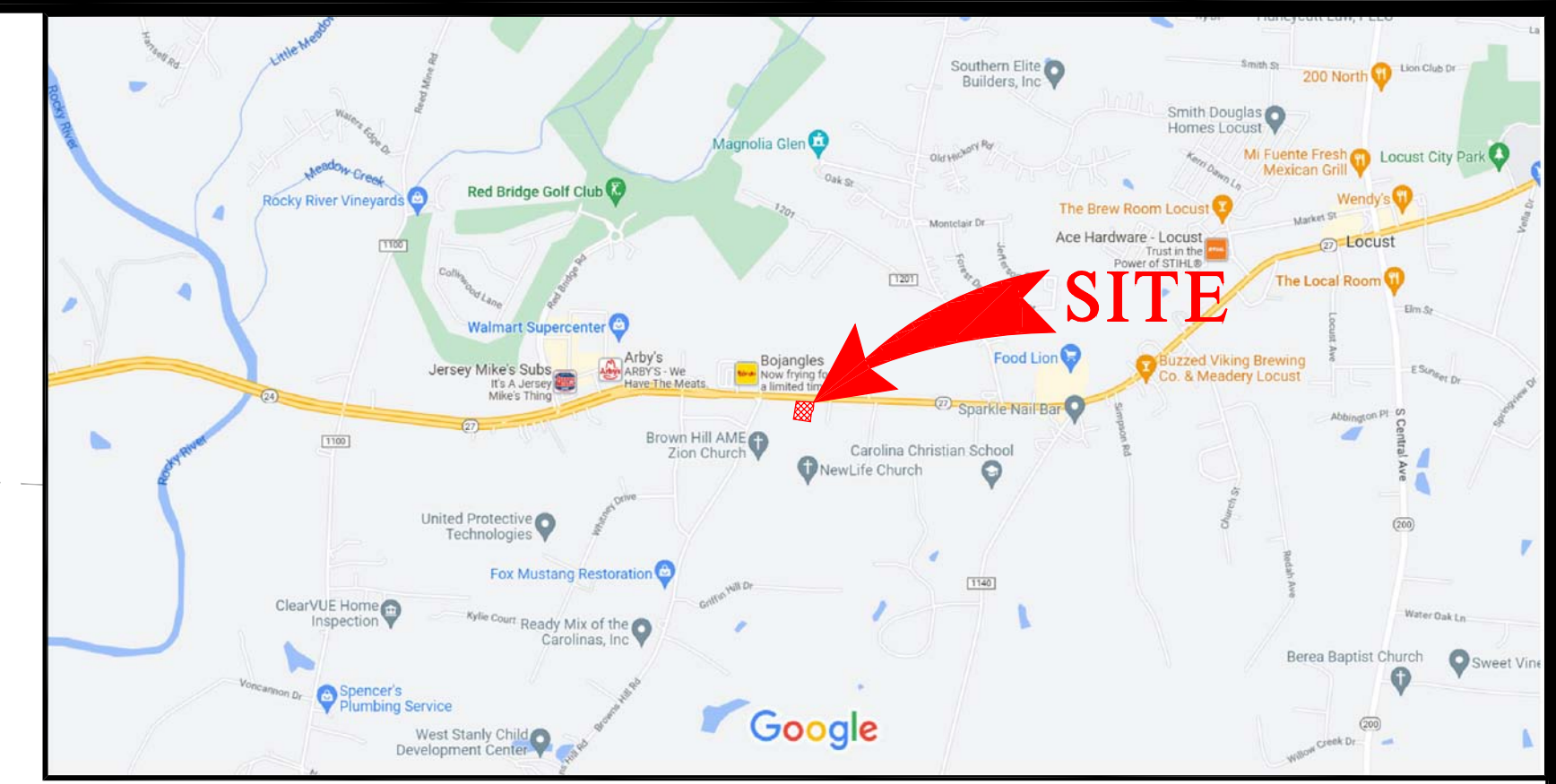
Requested Zoning District: Highway Commercial - Conditional (HC-C) Amendment

Applicant Signature: 

The following information is required with the application:

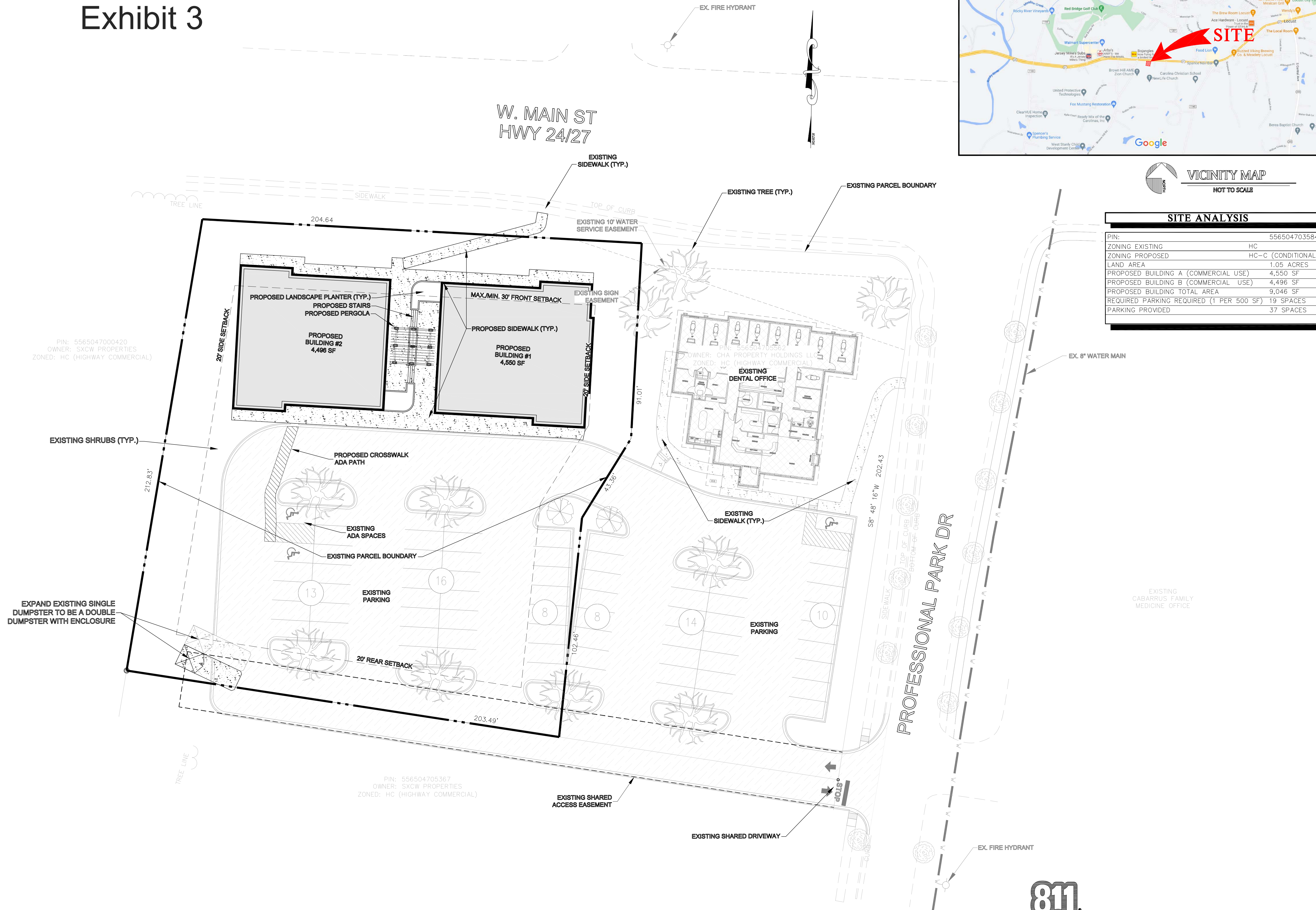
- (1) Map of the property to be rezoned, accurate description to show the following:
  - a. All property lines with dimensions, north arrow.
  - b. Names and addresses of adjoining landowners.
  - c. Location of all existing structures, use of all land.
  - d. Zoning classifications of all abutting zoning districts.
- (2) Comprehensive site plan.
- (3) Color renderings of the exterior.
- (4) Comprehensive landscape plan
- (5) All signage "monument and building"
- (6) A fee of \$500 (non-refundable) must accompany this application.

# Exhibit 3



VICINITY MAP  
NOT TO SCALE

SITE ANALYSIS	
PIN:	556504703584
ZONING EXISTING	HC
ZONING PROPOSED	HC-C (CONDITIONAL)
LAND AREA	1.05 ACRES
PROPOSED BUILDING A (COMMERCIAL USE)	4,550 SF
PROPOSED BUILDING B (COMMERCIAL USE)	4,496 SF
PROPOSED BUILDING TOTAL AREA	9,046 SF
REQUIRED PARKING REQUIRED (1 PER 500 SF)	19 SPACES
PARKING PROVIDED	37 SPACES

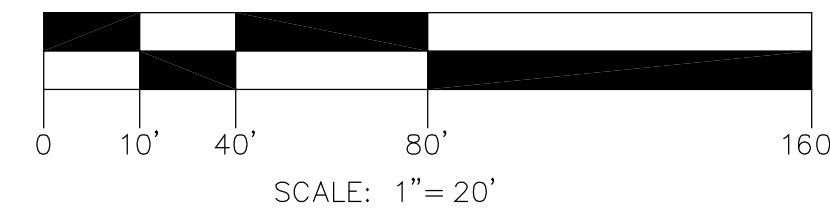


PIN: 5565047000420  
OWNER: SXCW PROPERTIES  
ZONED: HC (HIGHWAY COMMERCIAL)

PIN: 556504705367  
OWNER: SXCW PROPERTIES  
ZONED: HC (HIGHWAY COMMERCIAL)

PIN: 556504705562  
OWNER: CHA PROPERTY HOLDINGS LLC  
ZONED: HC (HIGHWAY COMMERCIAL)

EXISTING CABARRUS FAMILY MEDICINE OFFICE



MDV Engineering  
C/O Ayer Design Group  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 704-400-1044 Email: mdveng@gmail.com  
P-0883

PROJECT:  
**PROFESSIONAL PARK DRIVE COMMERCIAL BUILDINGS**  
? PROFESSIONAL PARK DR  
STANLEY COUNTY  
LOCUST, NC 28097

FOR:  
**LOCUST PROPERTY HOLDINGS, LLC**  
212 VANDERBILT BLVD.  
LOCUST, NC 28097  
PH: 910.723.1623  
CONTACT NAME:  
Dr. Jason Martin, D.M.D.

REVISIONS

JOB NO.: 2021-106  
DRAWN BY: MDN  
DATE: 03.16.23  
SCALE: 1"=20'

**CONDITIONAL REZONING SITE PLAN RZ.1**



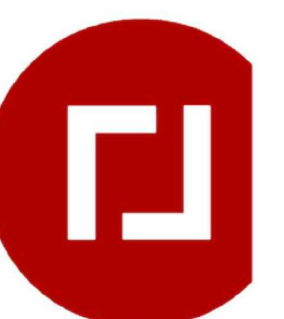
1 NORTH ELEVATION  
A4.3 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
A4.3 SCALE: 1/4" = 1'-0"

# MARTIN RETAIL - BUILDING #2

PROPOSED ELEVATIONS - RJa Project #2246 - 03.15.23

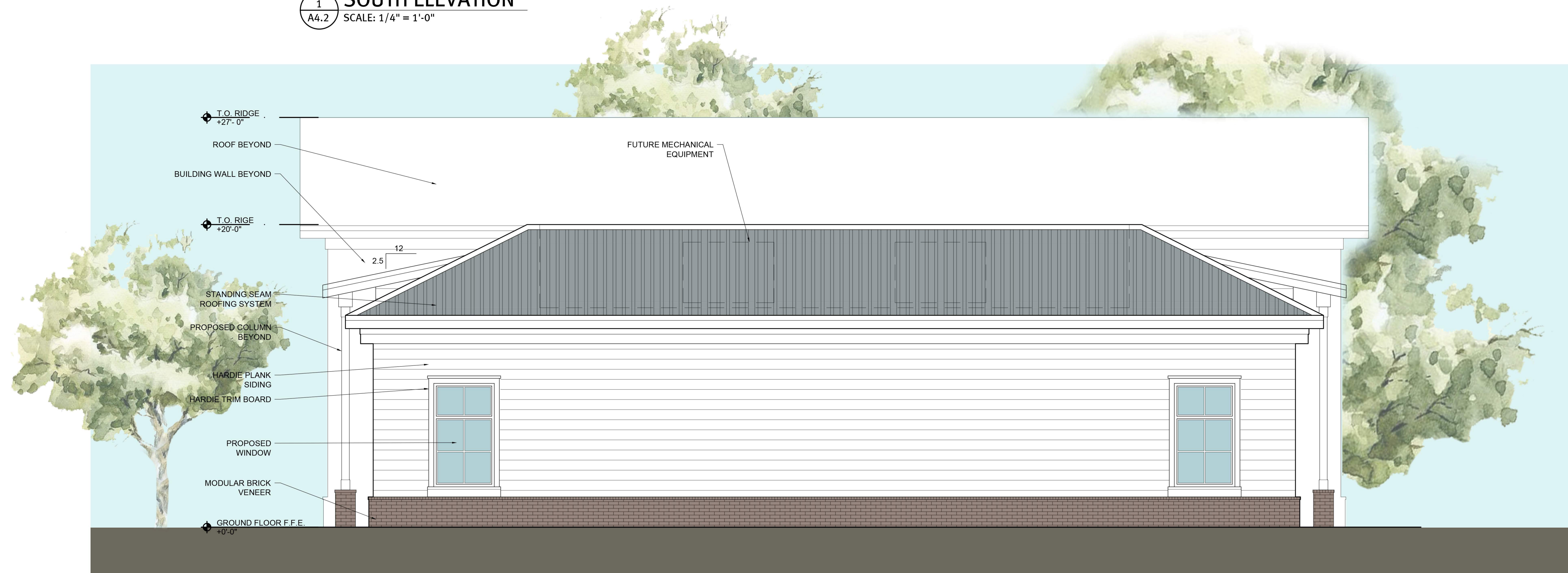


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Charlotte, NC 28208  
T 704 / 342.1058  
E info@rjarchitects.com



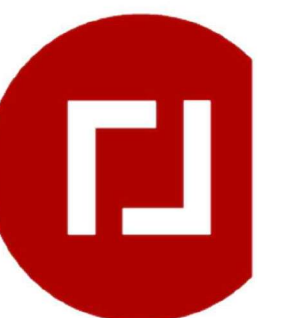
1 SOUTH ELEVATION  
A4.2 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
A4.2 SCALE: 1/4" = 1'-0"

# MARTIN RETAIL - BUILDING #2

PROPOSED ELEVATIONS - RJa Project #2246 - 03.15.23



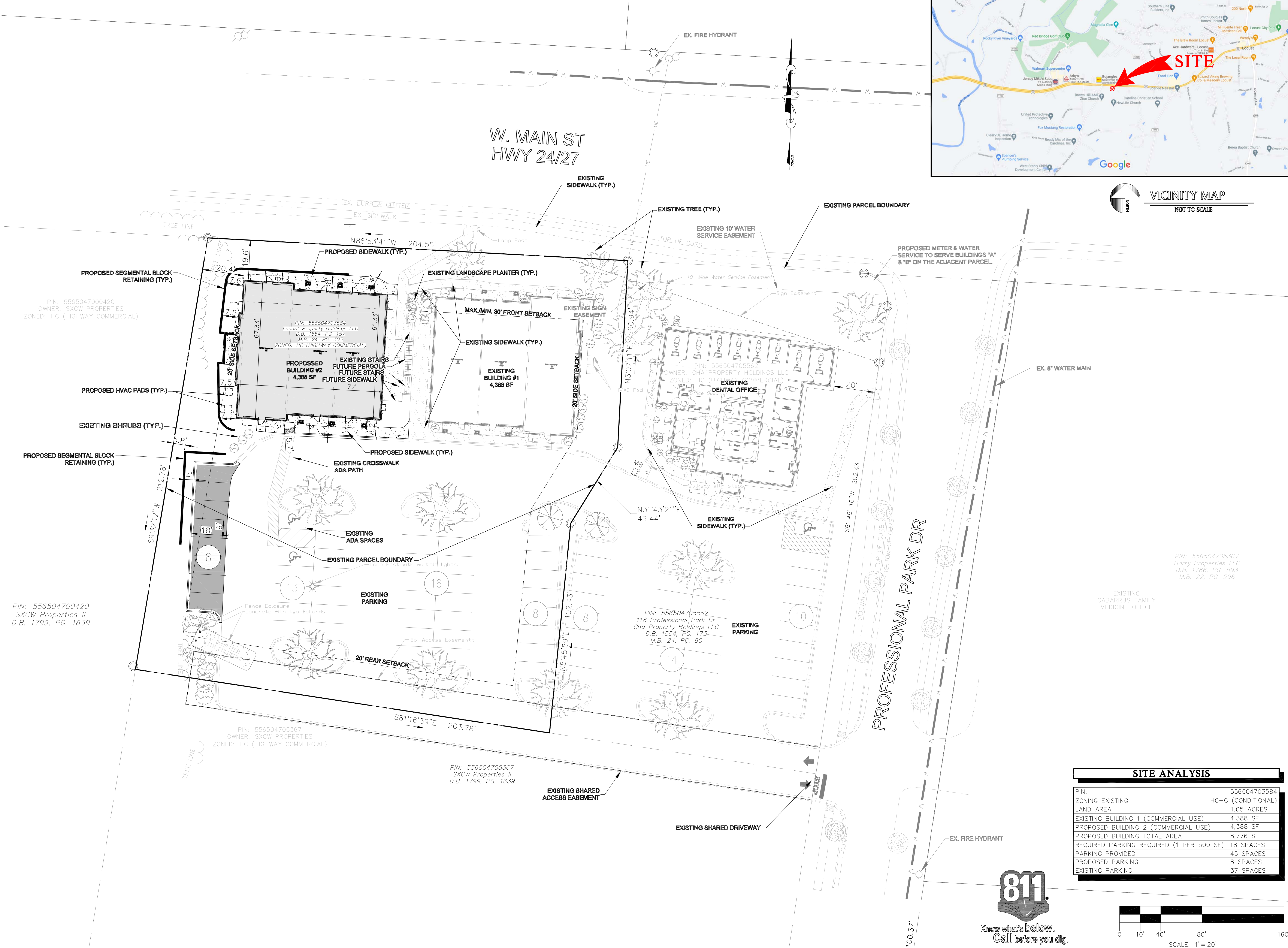
ROBERT JOHNSON  
architects

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Charlotte, NC 28208  
T 704 / 342.1058  
E info@rjarchitects.com



VICINITY MAP  
NOT TO SCALE

W. MAIN ST  
HWY 24/27



PIN: 5565047000420  
OWNER: SXCW PROPERTIES  
ZONED: HC (HIGHWAY COMMERCIAL)

PIN: 556504703584  
Locust Property Holdings LLC  
D.B. 1554, PG. 157  
M.B. 24, PG. 303  
ZONED: HC (HIGHWAY COMMERCIAL)

PIN: 556504705562  
OWNER: CHA PROPERTY HOLDINGS LLC  
ZONED: HC (HIGHWAY COMMERCIAL)

PIN: 556504705367  
Harry Properties LLC  
D.B. 1786, PG. 593  
M.B. 22, PG. 296

PIN: 5565047000420  
SXCW Properties II  
D.B. 1799, PG. 1639

PIN: 556504705367  
OWNER: SXCW PROPERTIES  
ZONED: HC (HIGHWAY COMMERCIAL)

PIN: 556504705367  
SXCW Properties II  
D.B. 1799, PG. 1639

SITE ANALYSIS	
PIN:	556504703584
ZONING EXISTING	HC-C (CONDITIONAL)
LAND AREA	1.05 ACRES
EXISTING BUILDING 1 (COMMERCIAL USE)	4,388 SF
PROPOSED BUILDING 2 (COMMERCIAL USE)	4,388 SF
PROPOSED BUILDING TOTAL AREA	8,776 SF
REQUIRED PARKING REQUIRED (1 PER 500 SF)	18 SPACES
PARKING PROVIDED	45 SPACES
PROPOSED PARKING	8 SPACES
EXISTING PARKING	37 SPACES

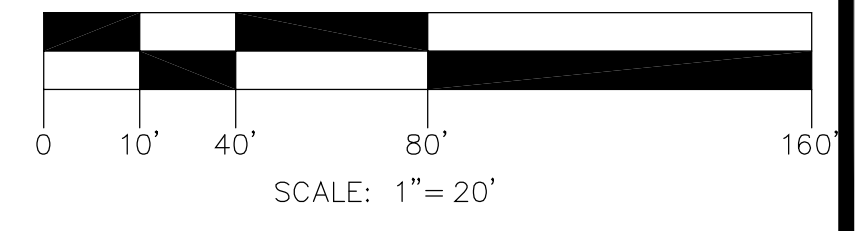
PROJECT:  
**PROFESSIONAL  
PARK DRIVE  
COMMERCIAL  
BUILDING #2**

122 PROFESSIONAL PARK DR  
STANLEY COUNTY  
LOCUST, NC 28097  
FOR:  
**LOCUST PROPERTY  
HOLDINGS, LLC**  
212 VANDERBILT BLVD.  
LOCUST, NC 28097  
PH: 910.723.1623  
CONTACT NAME:  
Dr. Jason Martin, D.M.D.

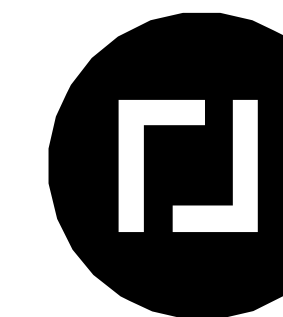
REVISIONS

JOB NO.: 2024-108  
DRAWN BY: MDN  
DATE: 6.19.24  
SCALE: 1"=20'

**CONDITIONAL  
REZONING  
SITE PLAN  
RZ.1**







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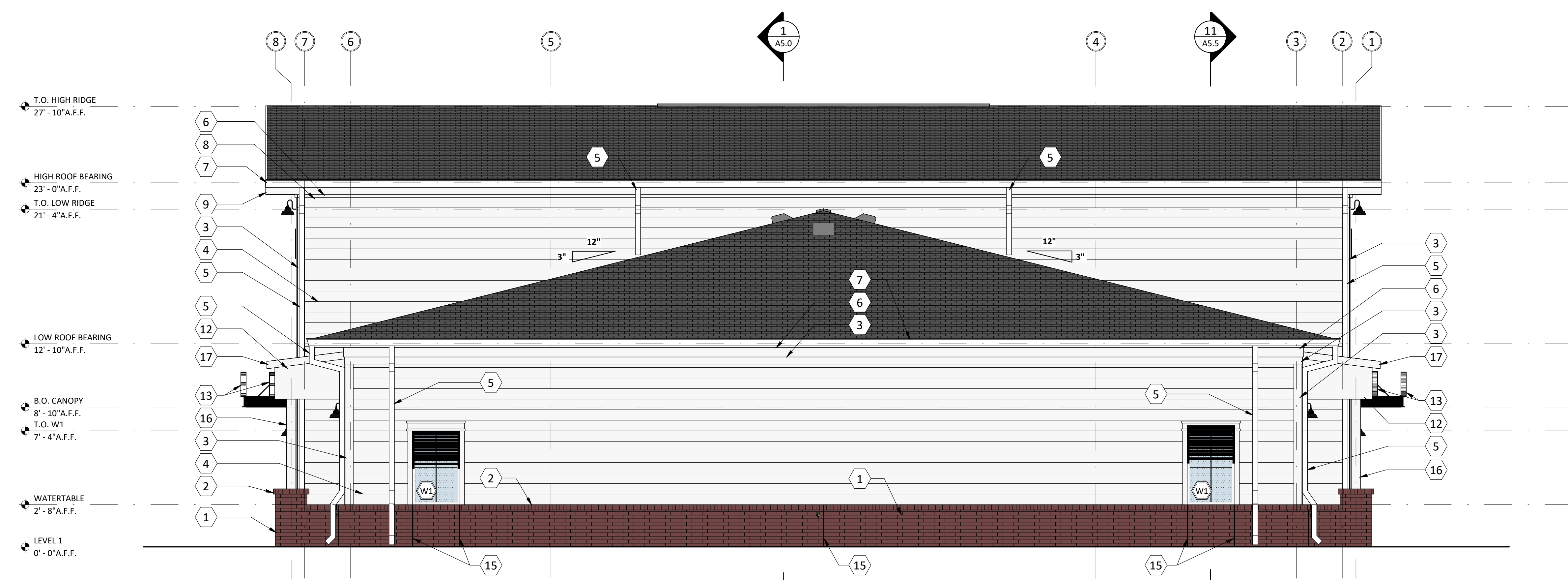
STAMPS

CONSULTANT

MARK	DESCRIPTION	BASIS	FINISH
1	MODULAR FACE BRICK	WATSONTOWN BRICK - OLD WILLIAMSBURG	RUNNING BOND
2	MODULAR ROWLOCK BRICK WATERTABLE	WATSONTOWN BRICK - OLD WILLIAMSBURG	ROWLOCK
3	5/4x6 FIBER CEMENT TRIM	HARDIE TRIM BOARD - 5/4 SMOOTH - PRIMED FOR PAINT	PT-1
4	8" EXPOSURE FIBER CEMENT LAP SIDING	HARDIE PLANK LAP SIDING - PRIMED FOR PAINT - 8" EXPOSURE	PT-1
5	DOWNSPOUT	-SEE ROOF PLAN	
6	(2) 5/4x10 FIBER CEMENT TRIM	HARDIE TRIM BOARD - 5/4 SMOOTH - PRIMED FOR PAINT	PT-1
7	GUTTER	-SEE ROOF PLAN	
8	5/4x8 FIBER CEMENT TRIM	HARDIE TRIM BOARD - 5/4 SMOOTH - PRIMED FOR PAINT	PT-1
9	5/4x12 FIBER CEMENT FASCIA	HARDIE TRIM BOARD - 5/4 SMOOTH - PRIMED FOR PAINT	PT-1
10	5/4x8 FIBER CEMENT FASCIA	HARDIE TRIM BOARD - 5/4 SMOOTH - PRIMED FOR PAINT	PT-1
11	MODULAR FACE BRICK PODIUM CAP	WATSONTOWN BRICK - OLD WILLIAMSBURG	ROWLOCK
12	FIBER CEMENT PANEL	HARDIE ARCHITECTURAL COLLECTION - FINE SAND - PRIMED FOR PAINT	PT-1
13	SIGNAGE BY OTHERS: TO BE SUBMITTED UNDER SEPARATE PERMIT AND APPROVED BY A.H.J. PRIOR TO INSTALLATION		
14	PRE-FAB. METAL CANOPY	PATRIOT AWNING COMPANY - G.C. TO SUBMIT SHOP DRAWINGS FOR APPROVAL	MFG. BLACK
15	CONTINUOUS MASONRY CONTROL JOINT™ 20" O.C. MAX., TYPICAL AT WINDOWS, DOORS, AND ALL INSIDE CORNERS	SIKA - SIKASIL WS-295	LIMESTONE
16	7"x7" PRESSURE TREATED WOOD COLUMN	YELLOWWOOD - 8x8 NOMINAL	PT-1
17	5/4x6 FIBER CEMENT FASCIA	HARDIE TRIM BOARD - 5/4 SMOOTH - PRIMED FOR PAINT	PT-1
18	5/4x4 FIBER CEMENT TRIM	HARDIE TRIM BOARD - 5/4 SMOOTH - PRIMED FOR PAINT	PT-1
19	(2) 5/4x6 FIBER CEMENT TRIM	HARDIE TRIM BOARD - 5/4 SMOOTH - PRIMED FOR PAINT	PT-1
20	PRE-FINISHED METAL COPING	PAC-CLAD - PAC-TITE COPING: TAPERED	MFG. WHITE
21	FIBER CEMENT TRIM RIPPED TO WIDTH	HARDIE TRIM BOARD - 5/4 SMOOTH - PRIMED FOR PAINT	PT-1
22	BASE OF WALL KNOCK OUT	KNOCK OUT 8"x8" CMU AND BRICK TO ALLOW FOR WATER DRAINAGE	



**1 SOUTH ELEVATION**  
A4.0 SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
A4.0 SCALE: 1/4" = 1'-0"

**LOCUST RETAIL #2**  
LOCUST, NC 28097

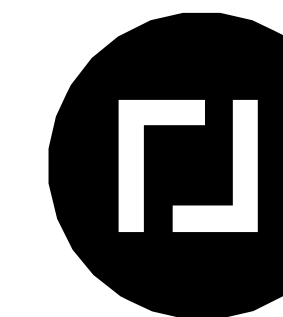
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ISSUE DATE  
ISSUED FOR CONSTRUCTION #

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CHECKED BY: TH

**SHEET TITLE**  
EXTERIOR ELEVATIONS

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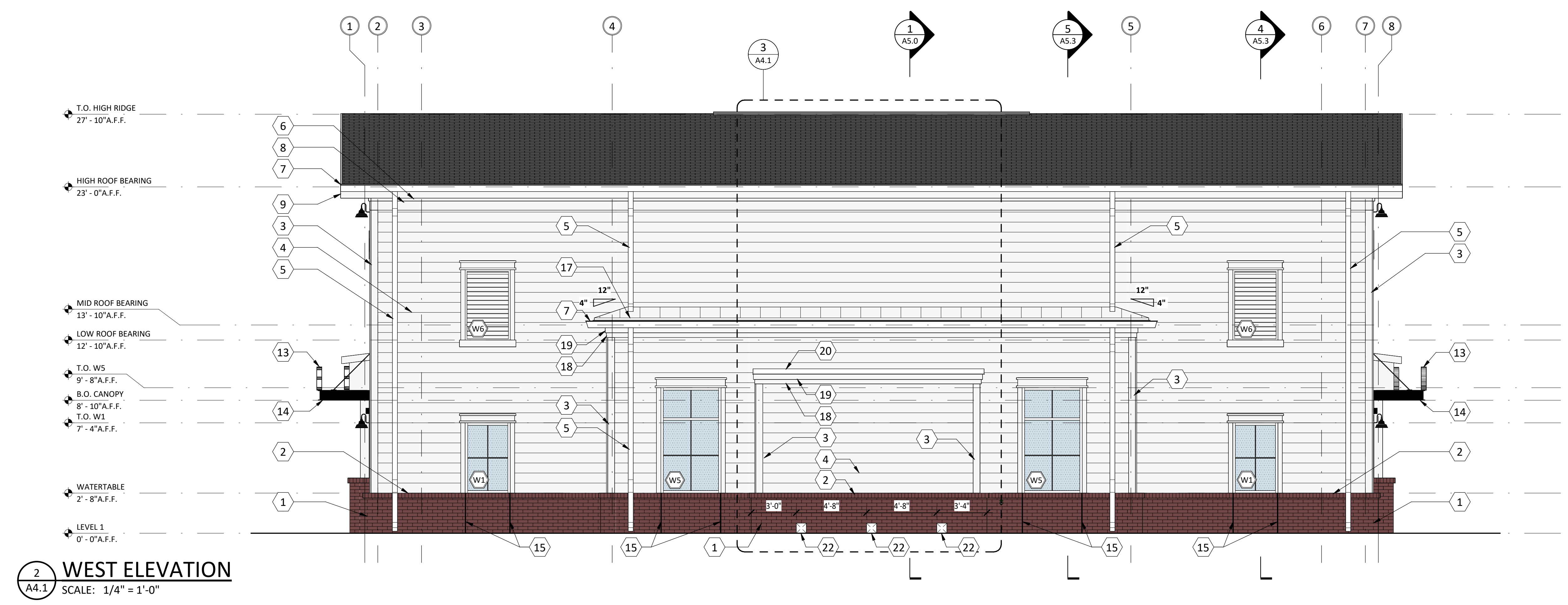
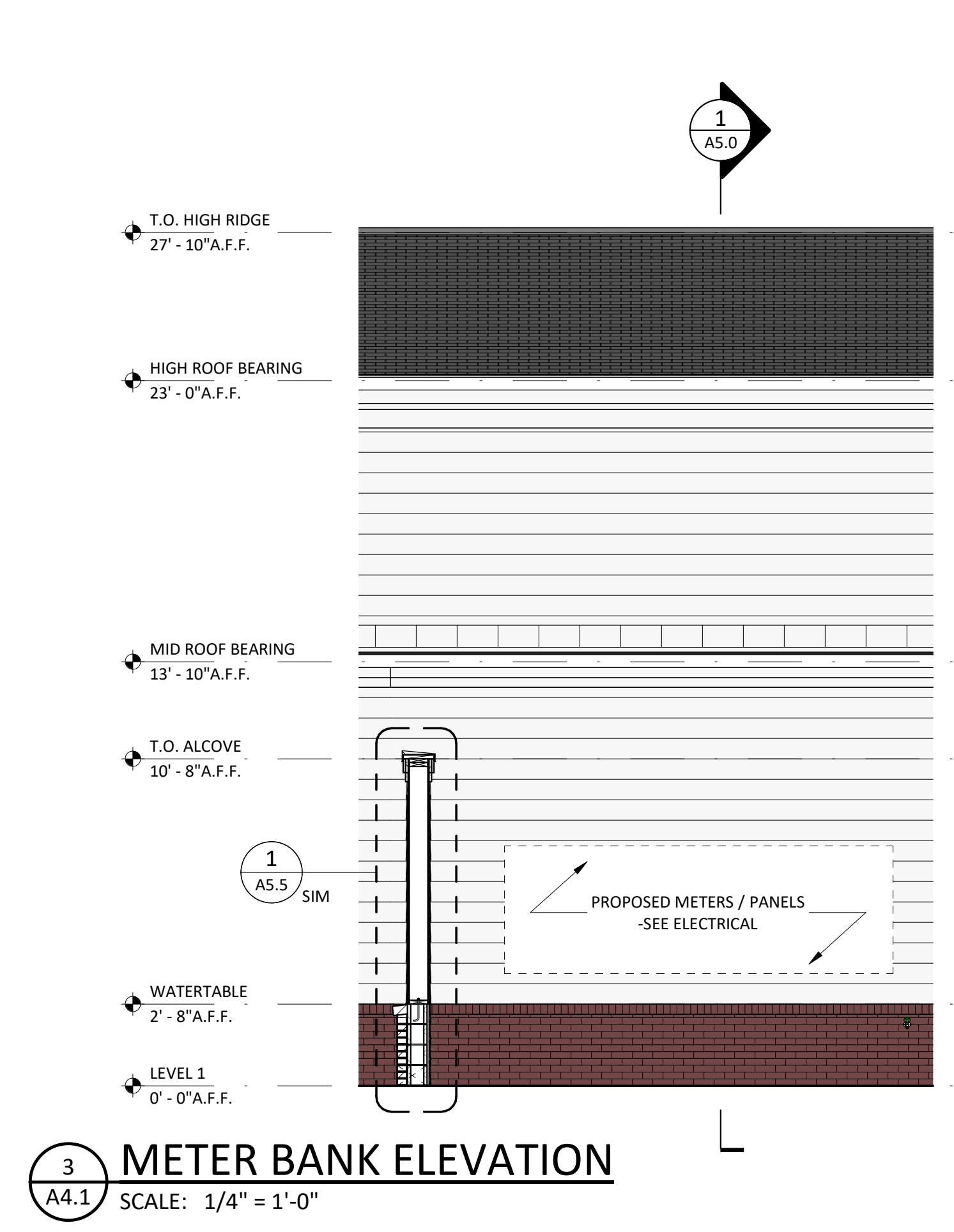
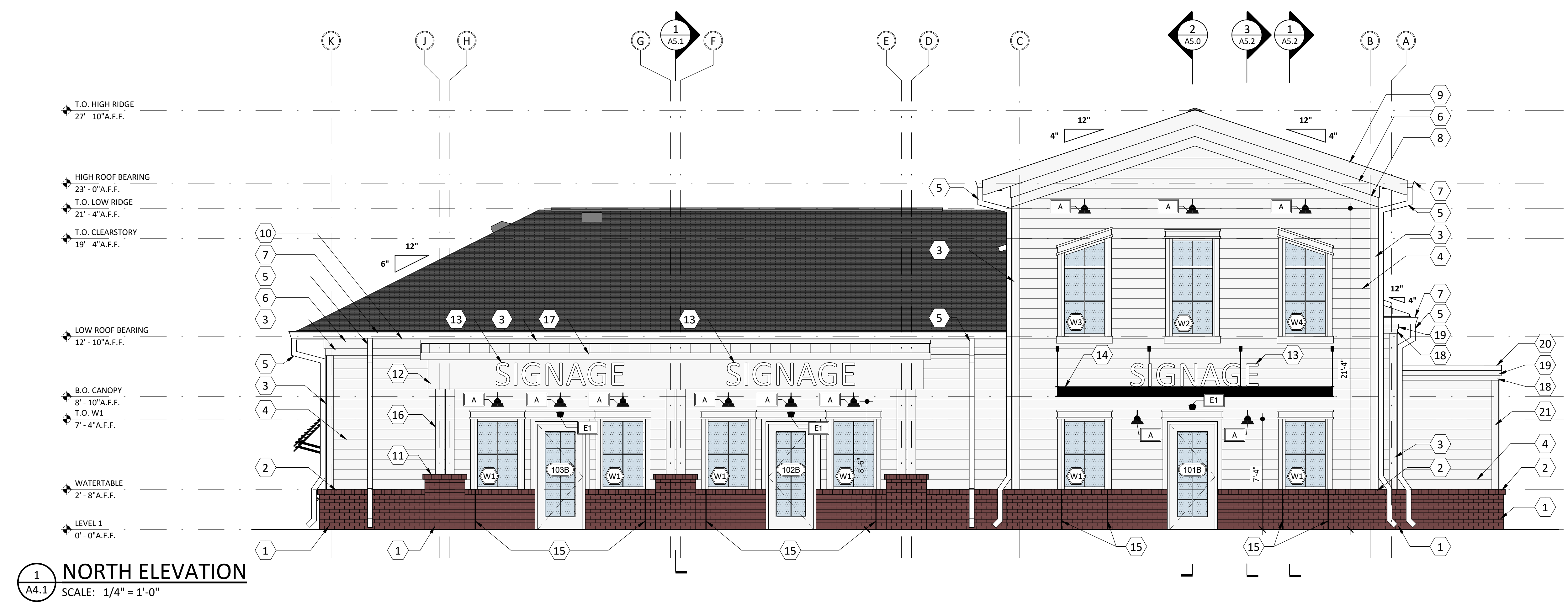


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T 704 / 342.1058

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CONSULTANT

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22	BASE OF WALL KNOCK OUT	KNOCK OUT 8"x8" CMU AND BRICK TO ALLOW FOR WATER DRAINAGE	



**LOCUST RETAIL #2**  
LOCUST, NC 28097

PROJECT NUMBER 2409  
ISSUE DATE  
ISSUED FOR CONSTRUCTION #

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CHECKED BY: TH

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