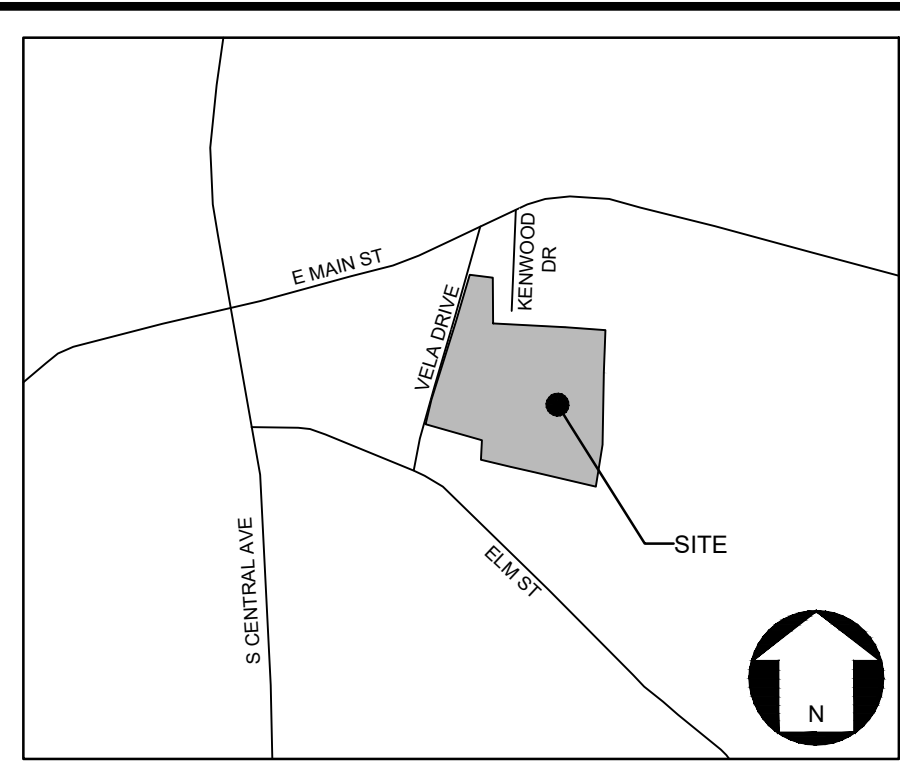


P:\2024\Jobs\24030 - Locust Site - Maverick\CAD\Sketch Planning\24030 Sketch Base_rev0.dwg



DEVELOPMENT DATA:

| | |
|-------------------------------|-----------------------------------------------------------|
| SITE AREA: | :37.27 ACRES |
| PIN NO.: | 557504619674 (PARTIAL), 557504723159 |
| EXISTING ZONING: | NR |
| PROPOSED ZONING: | GR(CD) |
| EXISTING USE: | VACANT |
| PROPOSED USES: | SINGLE FAMILY RESIDENTIAL, AGE RESTRICTED COMMUNITY |
| PROPOSED LOT COUNT: | 12 LOTS (AGE RESTRICTED) 38 LOTS (GENERAL RESIDENTIAL) |
| MIN. FRONT SETBACK: | 40' (GR) 25' (CONDITIONAL) |
| MIN. SIDE YARD REQUIRED: | 10' (GR) 10' (CONDITIONAL) |
| MIN. REAR YARD REQUIRED: | 25' (GR) 20' (CONDITIONAL) |
| MAX. BUILDING HEIGHT ALLOWED: | 30' TO EAVES (LDO 3.5.5) |



- AGE-RESTRICTED LOT AND BUILDING DESIGN STANDARDS:**
- For proposed age-restricted lots, Developer agrees to condition the lots, both through deed and HOA documents, to limit residents to age 55 or older, in accordance with Fair Housing Act and HOPA guidelines. Final restrictions will be presented to and approved by the Town prior to subdivision approval.
 - Age-restricted lots shall be rear-loaded and alley-fed.
 - Age-restricted lots shall have a minimum lot width of 70' as measured at the setback, and a minimum lot area of 7,000 sq. ft.
 - Minimum setbacks on age-restricted lots shall be as follows:
 - Front: 25'
 - Side: 10'
 - Rear: 20'
 - Age-restricted lots may have rear-loaded attached garages, accessed from the alley.
 - Preferred Exterior Building Materials: All principal and accessory buildings shall be comprised of a combination of portions of brick, natural stone (or its synthetic equivalent), stucco, cementitious siding, fiber cement ("HardiPlank"), vinyl and/or other materials approved by the Planning Director.
 - Prohibited Exterior Building Materials: concrete masonry units not architecturally finished.
 - Pitched roofs, if provided, shall be symmetrically sloped no less than 4:12, except that roofs for porches and attached sheds may be no less than 2:12.
 - Usable porches or stoops shall form a predominant feature of the building design for units fronting public streets and shall be located on the front and/or side of the building. Stoops may be covered but shall not be enclosed.
 - For all units, Developer shall provide blank wall provisions that limit the maximum blank wall expanse to twenty (20) feet on all building levels, including but not limited to doors, windows, awnings, material or color changes, and/or architectural design elements.

LEGEND:

| | |
|--|------------------------------|
| | PROPERTY BOUNDARY |
| | EXISTING CONTOUR LINES |
| | EXISTING STREAM / WATER BODY |
| | EXISTING LOT LINE |
| | RIGHT-OF-WAY LINE |
| | SETBACK LINE |
| | EXISTING PAVEMENT |
| | PROPOSED CURBING |
| | EXISTING CURBING |
| | ROAD CENTERLINE |
| | PROPOSED BUILDING |
| | PROPOSED ASPHALT |
| | PROPOSED CONCRETE |
| | PROPOSED OPEN SPACE |
| | PROPOSED TREE |
| | PROPOSED AGE RESTRICTED LOT |

This Plan Is A Preliminary Design. NOT Released For Construction.

0 100 200 400
SCALE: 1" = 100'

REVISIONS:

| No. | Date | By | Description |
|-----|------|----|-------------|
| | | | |