

City of Locust
Post Office Box 190
Locust, North Carolina 28097-0190
(704) 888-5260

MEMORANDUM

Date: October 14, 2024
From: Cesar Correa, City Manager
To: Mayor & City Council
Subject: Zoning Amendment (Conditional) – Sam’s Car Wash

BACKGROUND & PETITION INFORMATION

On September 19, 2024 the City of Locust received an application for a Conditional Zoning Amendment (Exhibit #1) for the property shown on the attached zoning map (Exhibit 2). The specifics of the rezoning application are as follows:

Applicant: Sam’s Express c/o Stephania De Maioribus (Cooper), Esq.

Owner Information: Cooper Legal Firm, PC as Land Use Counsel

Existing Zoning: Highway Commercial (HC)

Proposed Zoning: Highway Commercial – Conditional (HC-C)

Permitted Uses: All uses permitted in the Highway Commercial zoning district as shown in Article 2 Section 5 Use Table of the City of Locust Land Development Ordinance, would be permitted on the subject property. The proposed use *Car Wash (as a principal use)*, and *convenience store (with or without gas sales)* are conditional uses in the Highway Commercial District.

Parcel ID Numbers: Stanly County PINs#: 5565-0470-0420 and 5565-0470-5367

Area in Acres: +/- 16.69 acres

Site Description: This property was purchased by Sam’s Car Wash on September 20, 2022. The developer has worked on and off with city staff over the years, including a proposed property swap with New Life Church. The site is surrounded by other parcels similar in use.

Adjacent Land Use: Commercial (KFC, Taco Bell), Institutional (New Life Church) and Vacant

Surrounding Zoning: The property is surrounded by Highway Commercial on most sides, and Open Space on the south and east.

Utility Service Provider: The property will be served by public water through Stanly County Utilities, and sewer provided by the City of Locust.

EXHIBITS

1. Application for Zoning Change
2. Zoning Map
3. Site Plan
4. Proposed Elevations

LAND USE PLAN ANALYSIS

The property lies within the area designated on the adopted 2014 Land Use Plan for commercial uses.

The property is currently zoned Highway Commercial. This amendment is reasonable because the property is adjacent to existing commercial uses. The amendment allows for the growth and expansion of the City's commercial tax base, thus providing opportunities for local jobs for the community.

SITE-SPECIFIC CONDITIONS

Staff recommends that the following site-specific conditions be considered for the approval of this conditional rezoning request:

1. Off-site traffic improvements as determined by a Traffic Impact Analysis (TIA).
Scope of work to be coordinated between City of Locust and NCDOT.

FINDINGS AND CONCLUSIONS

The applicant submitted a Site Plan (Exhibit #3) and proposed elevations (Exhibit #4) for the overall development of the property that will be attached to the approval of the conditional rezoning should the City choose to support this request.

Staff has reviewed the Site Plan and finds that it meets the standards of the City of Locust Land Development Ordinance.

POLICY IMPLICATIONS

The City of Locust Land Development ordinance and the North Carolina General statutes require the Planning & Zoning Board to make a recommendation on the zoning amendment.

On September 26, 2024 the Locust Planning & Zoning Board reviewed the zoning amendment petition and voted unanimously to recommend ***approval*** of the proposed Highway Commercial – Conditional (HC-C) zoning designation.

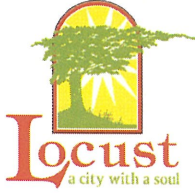
Notice of the meeting and this agenda item have been publicized, letters have been mailed to all adjacent property owners within 500ft of the subject property, and a zoning hearing sign has been posted on the property.

The Council may vote to recommend approval, denial, or to modify the recommended classification in accordance with the adopted 2014 Land Use Plan.

SUGGESTED MOTION LANGUAGE

The following suggested motion language is provided as a guideline to assist the Council with references required for zoning amendments. The language may be altered as deemed appropriate by any member of the City Council in the making of a motion.

Suggested motion: “To approve the conditional rezoning request designating the subject property as Highway Commercial – Conditional (HC-C) with the associated site plan and proposed elevations, to be consistent with the 2014 Land Use Plan.



City of Locust
Post Office Box 190
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(704) 888-5260

Application for Conditional Zoning Change

Date: September 19th, 2024 _____

Applicant Name: Sam's Express c/o Stephanie DeMaioribus (Cooper), Esq. _____

Company Name (if applicable). Cooper Legal Firm, PC as Land Use Counsel _____

Address of Counsel: 5620 Concord Parkway S., Ste. 103, Concord, NC 28072
(Cabarrus) / 622 W Church Street, Richfield, NC 28137 (Stanly)

Phone Number: 704-940-3236 (O)/704-322-8617 (cell) _____

Address of Property Change: 157 Browns Hill Road, Locust, NC PIN 556504700420

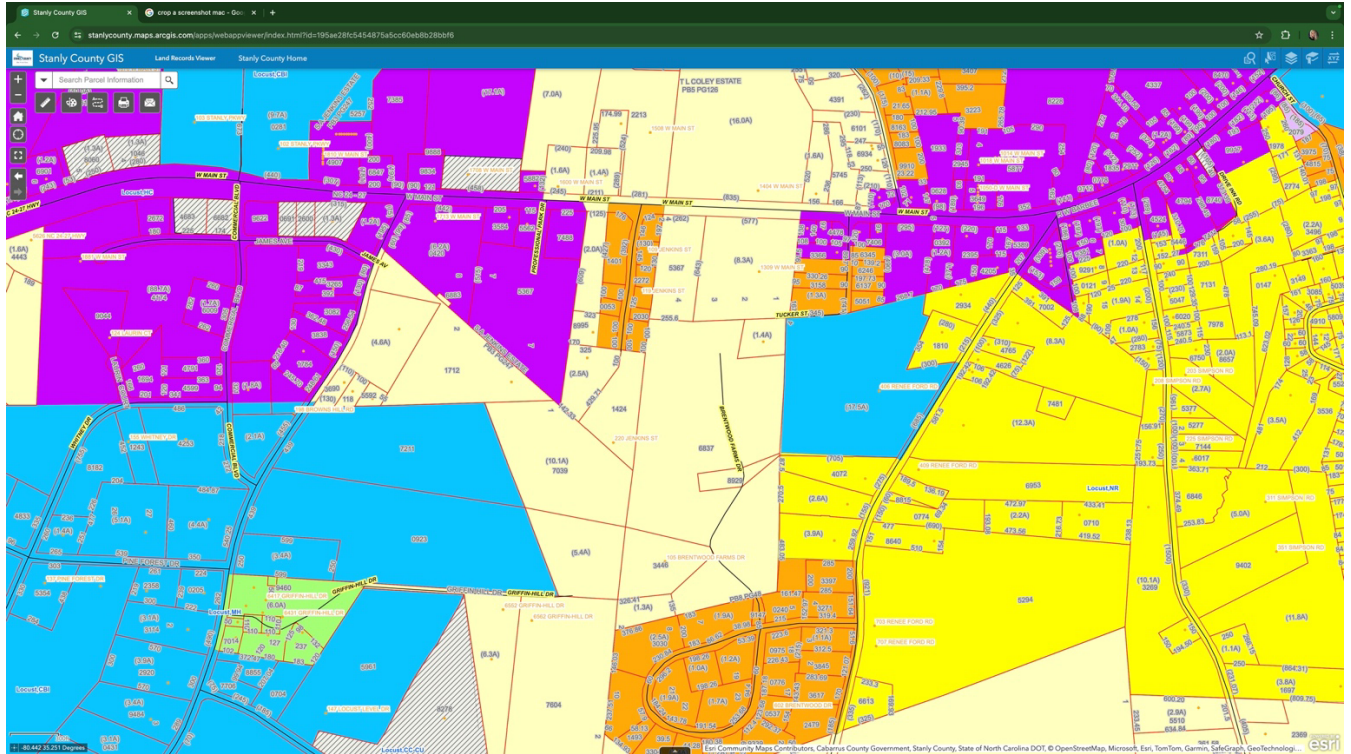
Present Zoning District: HC – Highway Commercial (HC)

Requested Zoning District: HC – Highway Commercial - Conditional Use (HC-C) _____

Applicant Signature:  _____

The following information is required with the application:

- (1) Map of the property to be rezoned, accurate description to show the following:
 - a. All property lines with dimensions, north arrow.
 - b. Names and addresses of adjoining landowners.
 - c. Location of all existing structures, use of all land.
 - d. Zoning classifications of all abutting zoning districts.
- (2) Comprehensive site plan.
- (3) Color renderings of the exterior.
- (4) Comprehensive landscape plan
- (5) All signage “ monument and building “
- (6) A fee of \$500 (non- refundable) must accompany this application.



GIS Map showing Zoning Overlays

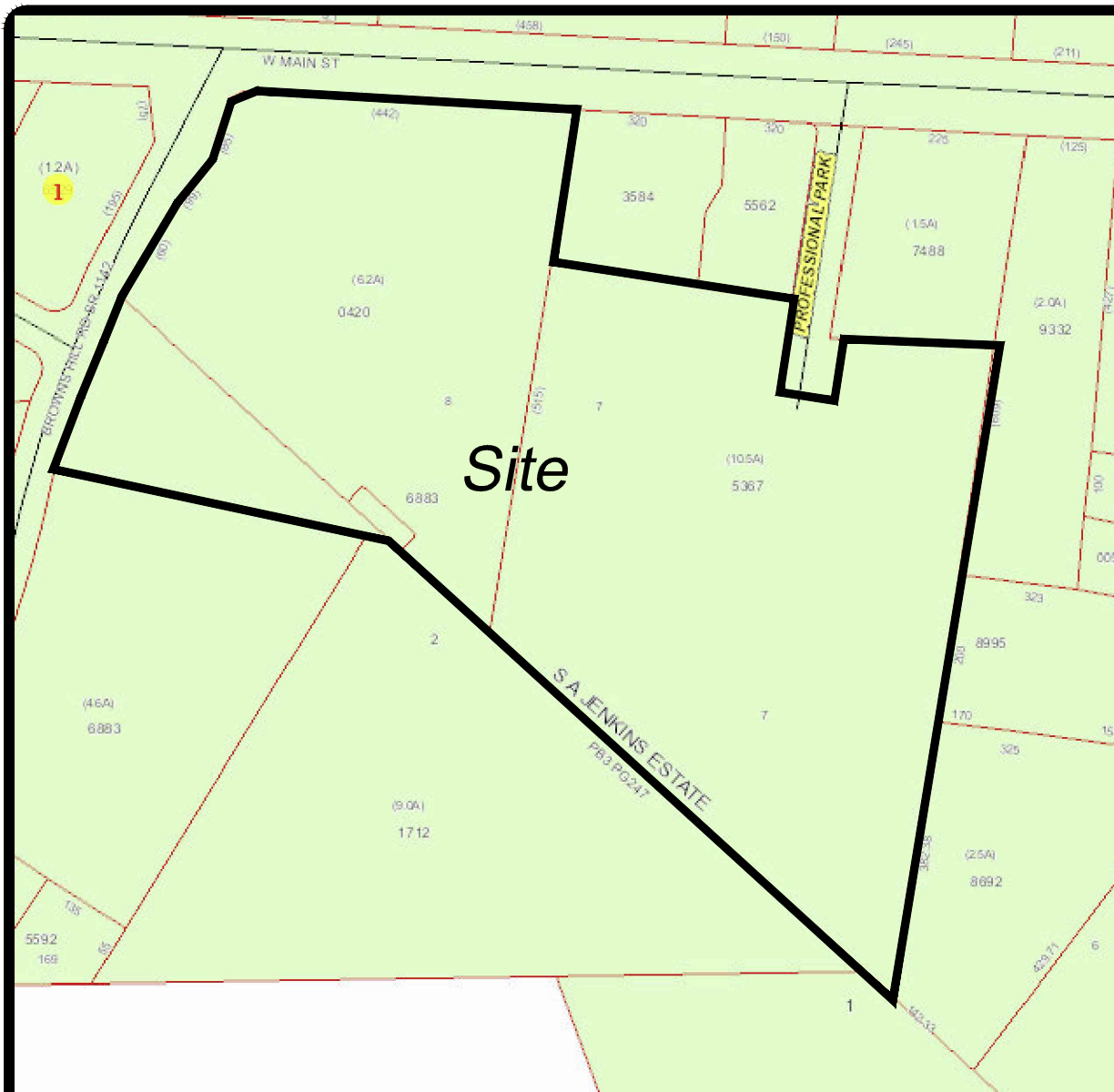
Adjoining landowners:

New Life Baptist Church of Stanly County
PO Box 880
Locust, NC 28097

Locust Property Holdings, LLC
212 Vanderbilt Blvd
Locust, NC 28097

Across Browns Hill Road:

EM SQUARED PROPERTIES LLC
104 Mull Street
Morganton, NC 28655



VICINITY MAP
(NOT TO SCALE)



SITE AND DEVELOPMENT DATA	
JURISDICTION	CITY OF LOCUST
TAX PARCEL(S):	556504700420, 556504705367 556504700140, 556402791712
SITE ADDRESS:	1713 WEST MAIN STREET
EXISTING ZONING	HIGHWAY COMMERCIAL
USE CLASSIFICATION	COMMERCIAL/RETAIL
TOTAL SITE AREA	18.16 AC. 791,232 SQ. FT.
MINIMUM FRONT SETBACK	20 FEET
MINIMUM SIDE SETBACK	0 FEET
MINIMUM REAR SETBACK	0 FEET

EAGLE ENGINEERING

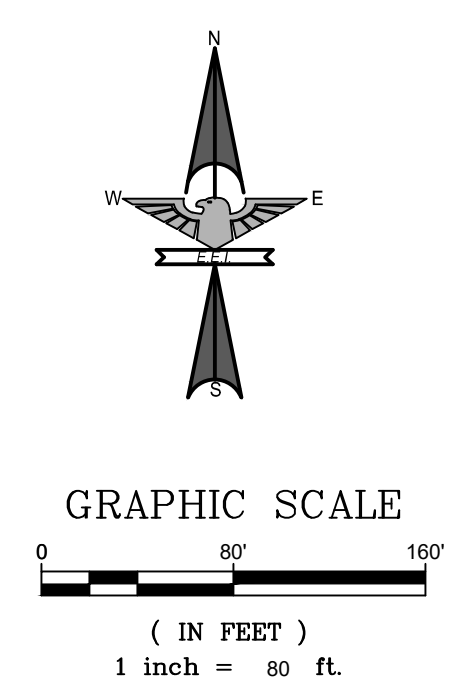
FIRM LICENSE # C-0873
2013A VAN BUREN AVE
INDIAN TRAIL, NC 28079
(704) 882-4222
www.eagleengineer.net

NO.	DATE	BY	ISSUE

SAM'S XPRESS CAR WASH
1713 WEST MAIN STREET
LOCUST, NC 28097

SAM'S XPRESS CARWASH
7935 COUNCIL PLACE, SUITE 102
MATTHEWS, NC 28105

DESIGNED BY SAP	DRAWN BY SAP	DATE 05/29/2024	CHECKED BY JLR
			JOB NUMBER 7771
Scale AS SHOWN	CONCEPTUAL SITE PLAN		



X:\land\Projects\RD\7771 - Sam's Xpress\24-27 - Locust\DWG\Concept\7771 Sam's Xpress.dwg, 24.27 CSP-10.dwg



TRACT 1
 SKOW PROPERTIES II LLC
 PID #556504700420
 DB 1799 PG 1639
 ZONED: H(LOCUST)
 ORIGINAL AREA
 271,374 SQ. FT
 6.230 ACRES

TRACT 2
 SKOW PROPERTIES II LLC
 PID #556504700587
 DB 1799 PG 1639
 ZONED: H(LOCUST)
 NEW TOTAL AREA
 333,466 SQ. FT
 7.655 ACRES

TO BE CONVEYED
 AND COMBINED WITH
 NEW LIFE BAPTIST CHURCH
 OF STANLY COUNTY
 PID #556504701712
 98,302 SQ. FT
 2.257 ACRES

TO BE CONVEYED TO
 AND COMBINED WITH
 SKOW PROPERTIES II LLC
 PID #556504700420
 60,994 SQ. FT
 1.407 ACRES

MB 22 PG 296



- AREA TO SAM'S XPRESS
 - AREA TO CHURCH

GRAPHIC SCALE
 (IN FEET)
 1 inch = 60' ft.

EAGLE ENGINEERING

 FIRM LICENSE # C-0873
 2013A VAN BUREN AVE
 INDIAN TRAIL, NC 28079
 (704) 862-4222
 www.eagleengineer.net

PRELIMINARY
 NOT FOR
 CONSTRUCTION

NO.	DATE	BY	ISSUE



SAM'S HIGHWAY 24/27
 1713 WEST MAIN STREET
 LOCUST, NC 28097
 SAM'S XPRESS CAR WASH
 7935 COUNCIL PLACE, SUITE 200
 MATTHEWS, NC 28105

DESIGNED BY	DRAWN BY	CHECKED BY	JLR
JLR	JLR	JLR	JLR
SCALE	DATE	JOB NUMBER	7771
AS SHOWN	04/27/2023		

EXHIBIT

X:\land\p000152771 - Sam's Highway 24/27 - Locust\DWG\042723\042723.dwg - Sam's Xpress - Land Swap Color Exhibit.dwg



Details:

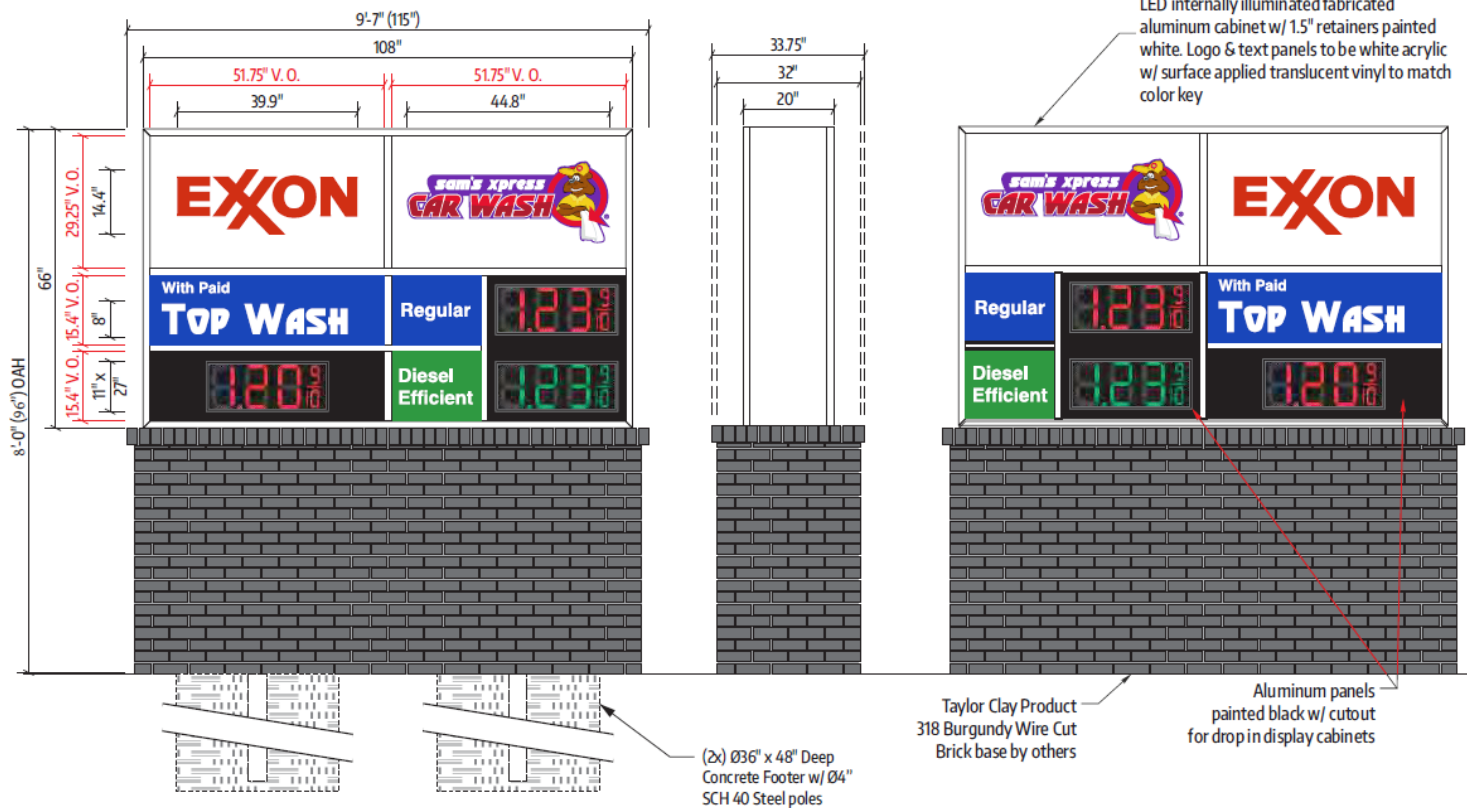
- Currently zoned for Highway Commercial, Commercial/Retail use
- Total Site Area: 18.16 AC
- Parcels Proposed: 5, including 4 outparcels
- Perimeter Landscape Buffer: 15'
- Proposed Setback: 20'

Monument Sign

Square Footage Calculation:
 Allowed: 84 sf; 30' height max
 Used: 49.5 sf

← ROAD - SIDE A

SIDE B - ROAD →



L Illuminated Monument Sign
 Scale: 1/2"=1'-0"



Client:
 Sam's Xpress Car Wash
 7935 Council Place
 Matthews, NC 28105

Location Address:

Description:
 Illuminated Monument Sign
 (49.5 Sq Ft)

Qty: 1

Provide D/F LED illuminated monument sign per layout w/ Daktronics Fuel Light 3000 series drop in 8" digit LED display.

- Color Key:**
- PMS 185 C
 - PMS 113 C
 - PMS 116 C
 - PMS 1235 C
 - PMS 160 C
 - PMS 266 C
 - Digitally Printed Gradients
 - White
 - Black
 - PMS 7541 C
 - PMS 5455 C
 - PMS 485 C
 - 3M 3630-157
 - 3M 3630-76

Layout Date:
 04/28/2023 - AR

Revision Date:
 05/05/2023 - AR



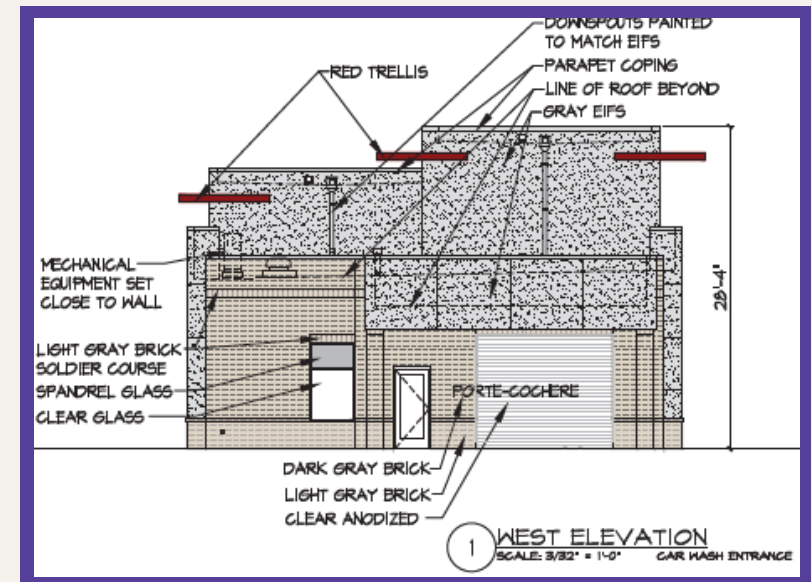
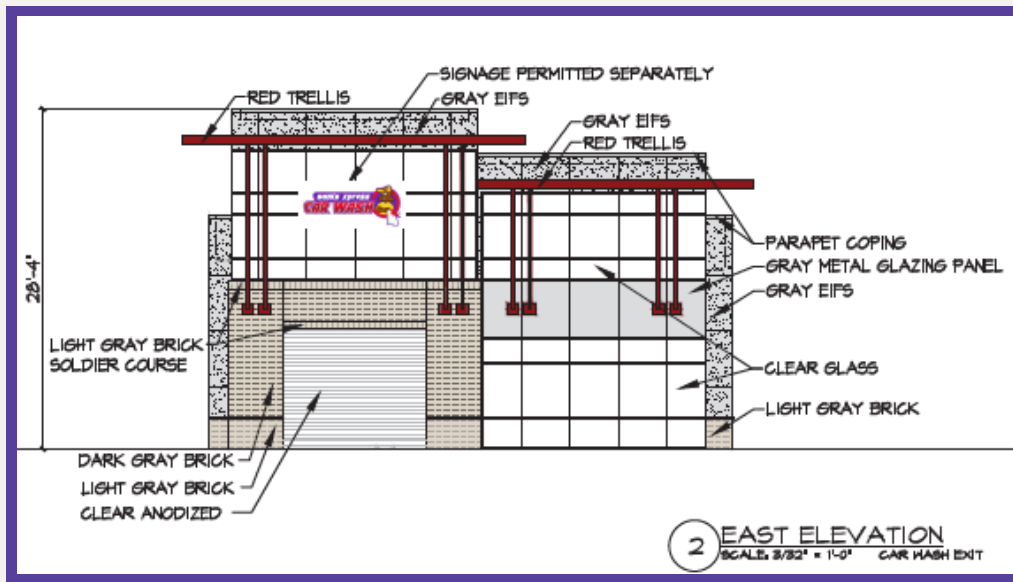
1100 Berkshire Blvd. Suite 200, Wyomissing, PA | (Toll Free): 844.460.6631 | (Fax): 610.478.1332 | www.egansign.com

This design/engineering proposal will remain the exclusive property of Egan Sign until approved and accepted through purchase by client named directly on drawing and may not be duplicated by other parties or design fee will apply @ \$95 per hour.

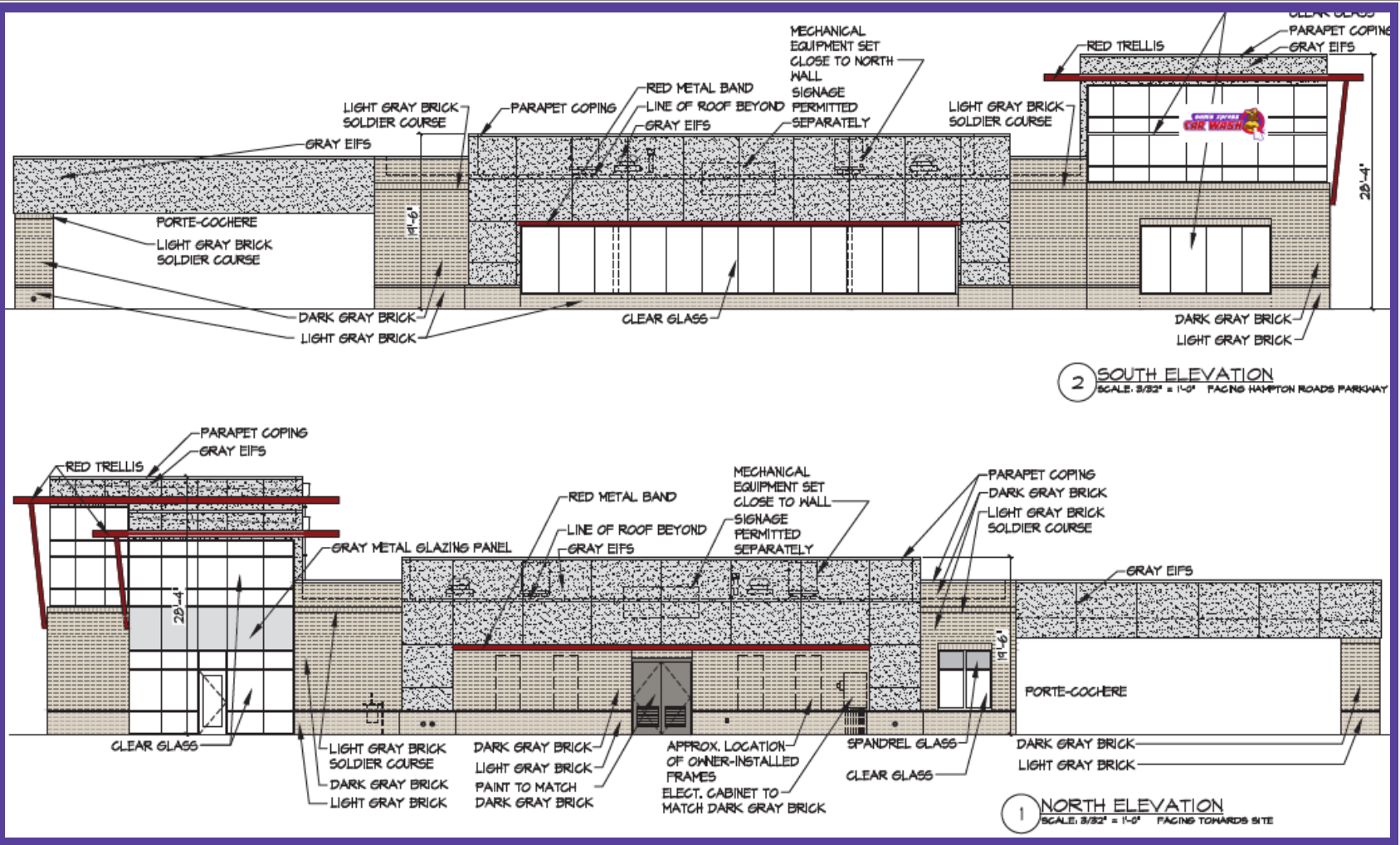
Sign Management Made Simple

File Name:
 30830_Charlotte.pdf
 Project Number: 30830

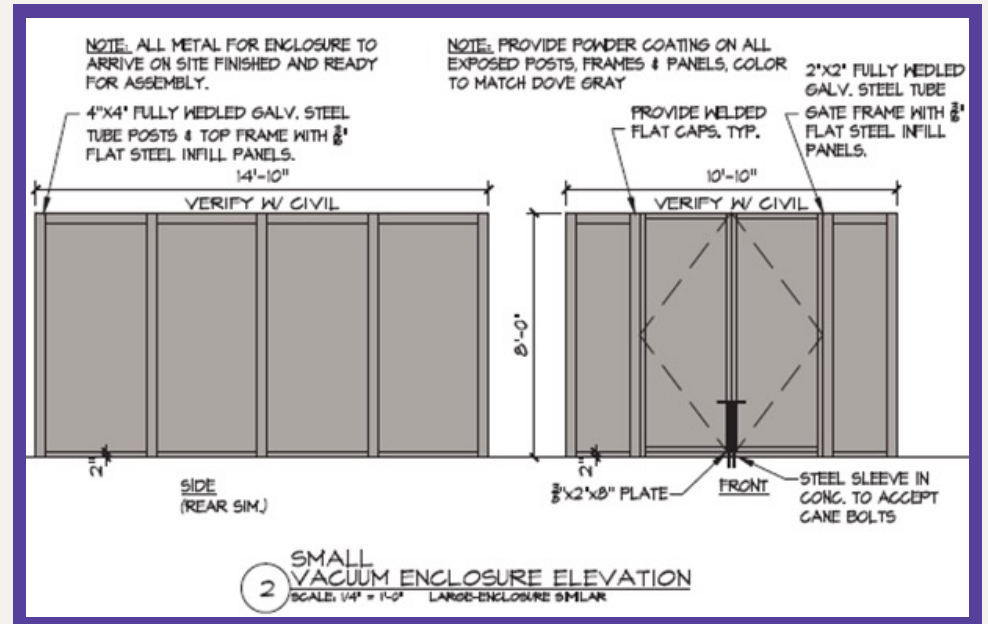
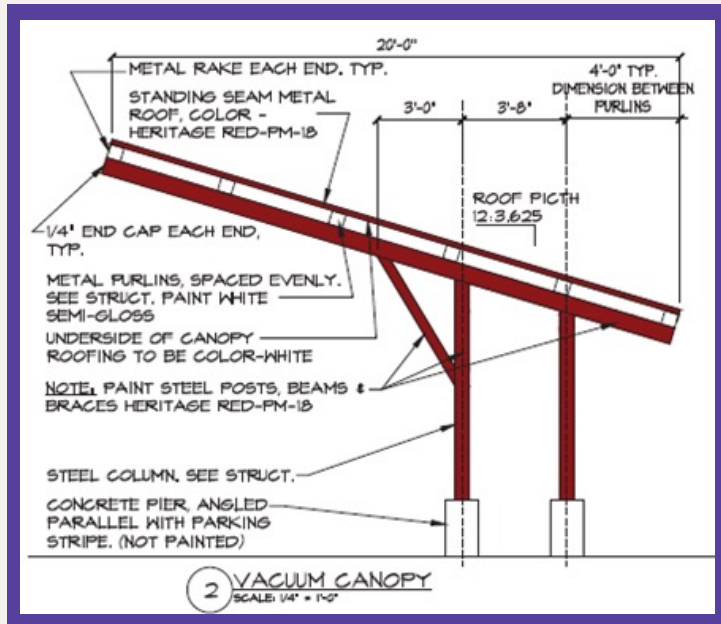
Building Elevations



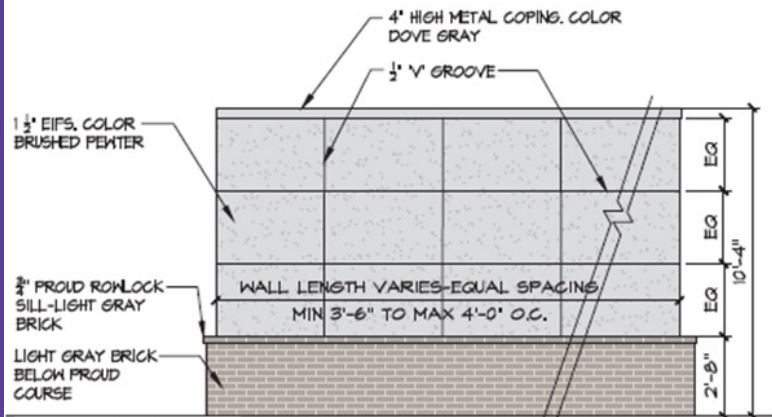
Building Elevations



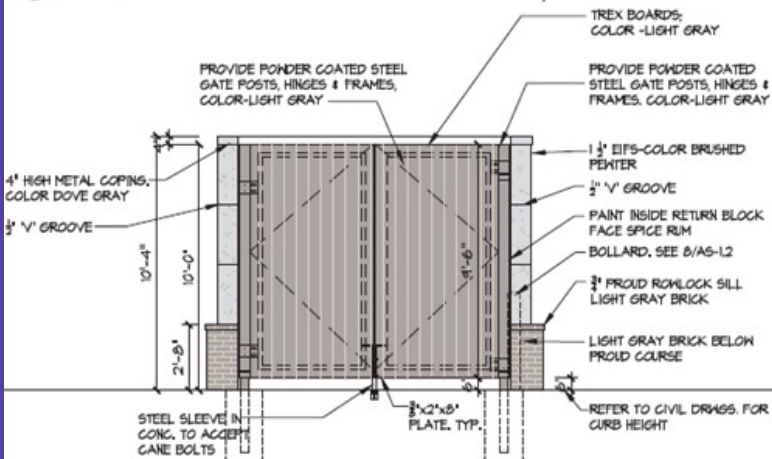
Vacuum Elevations



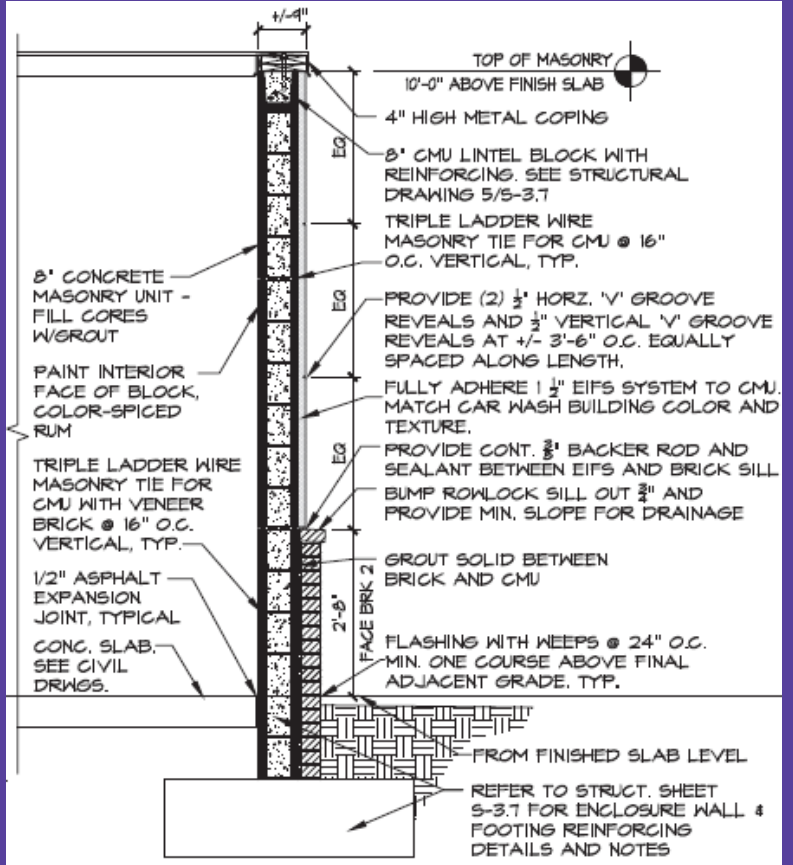
Dumpster Elevations



3 DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



1 DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



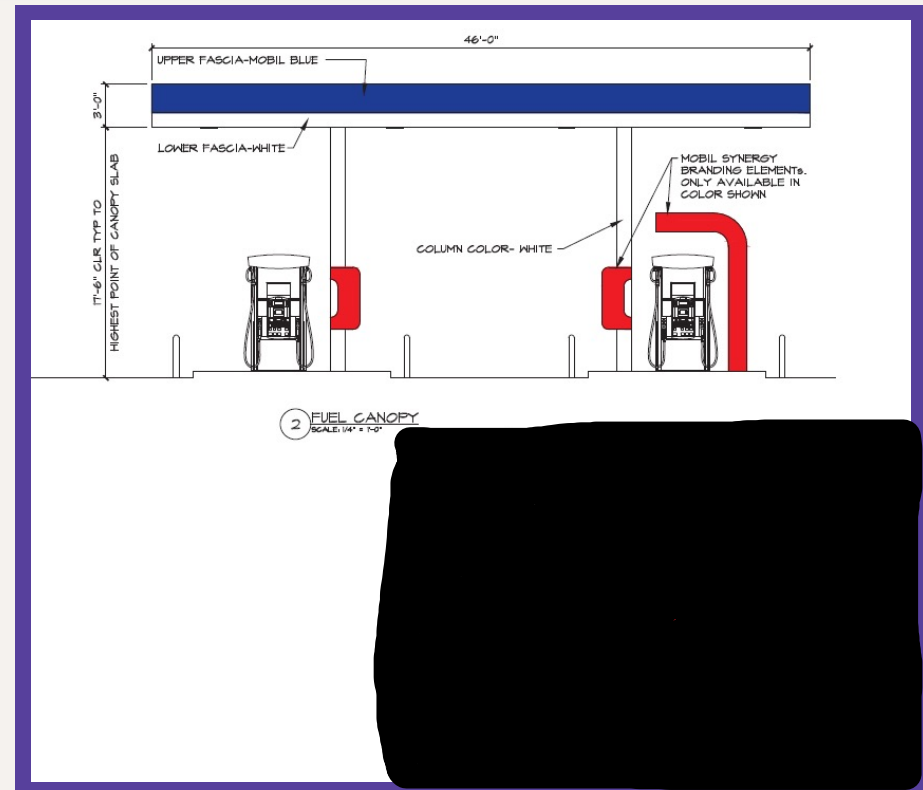
1 DUMPSTER WALL SECTION
SCALE: 1/2" = 1'-0"

Materials, Fuel Canopy, & Vending Elevations

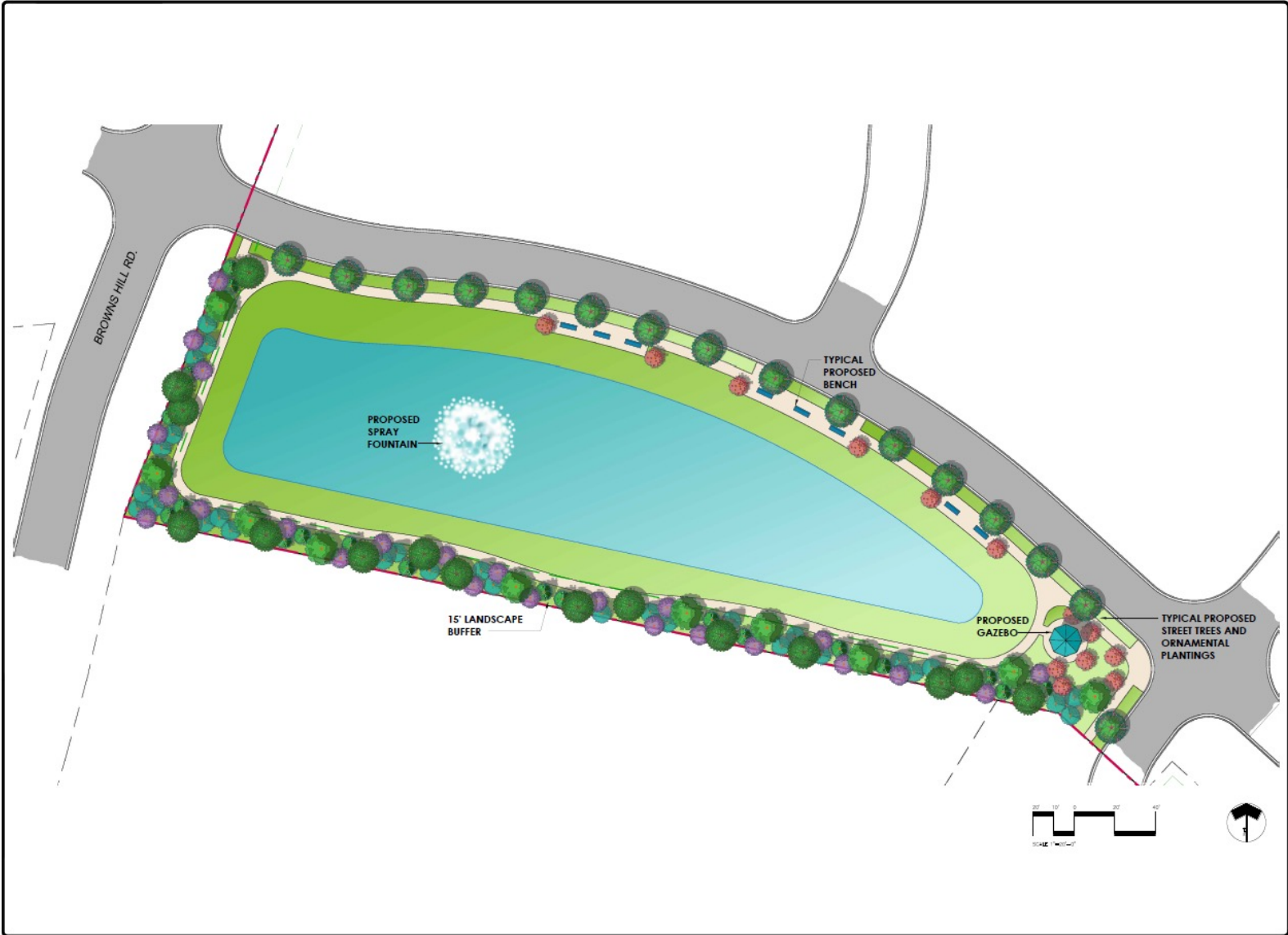



EXTERIOR MATERIAL SCHEDULE

MATERIAL	MANUFACTURER	MODEL	COLOR	NOTES
PARAPET WALL COPING	CARLISLE SYNTec SYSTEMS	SECUREDGE 300	DOVE GRAY A01	GALVANIZE, PRE-FINISHED, KYNAR 500, 24 GAUGE METAL
RED TRELLIS	T.B.D.		HERITAGE RED (PM-18)	PROVIDED BY GC.
GRAY EIFS	STO CORP.	StoTherm C1 Essence INSULATED WALL CLADDING SYSTEM	BRUSHED PEBBER FINISH: StoPowerWall FINE (80216)	INSTALL OVER STO GUARD LIQUID APPLIED HRB. COLOR AND TEXTURE TO BE APPROVED BY OWNER.
DARK GRAY BRICK	TAYLOR CLAY PRODUCTS	322 GRAY	DARK GRAY	RUNNING BOND FACE BRICK. MORTAR COLOR TO BE DETERMINED
LIGHT GRAY BRICK	TAYLOR CLAY PRODUCTS	320 GRAY	LIGHT GRAY	RUNNING BOND FACE BRICK. SOLDIER & SILL COURSE. MORTAR COLOR TO BE DETERMINED
ROLL UP DOOR	HAYNE DALTON	MODEL 400	CLEAR ANODIZED	PAINT TO MATCH DARK BRICK COLOR
ALUMINUM CURTAIN WALL	TUBLITE	SERIES 200	CLEAR ANODIZED	2" X 5 1/2" FRAMES WITH 7" CLEAR INSULATED GLASS. SEE GLAZING SCHEDULE
ALUMINUM STOREFRONT	KAWNEER	TRIFAB V645IT 566	CLEAR ANODIZED	SEE GLAZING SCHEDULE
GRAY METAL GLAZING PANEL	CITADEL	GLAZEGUARD 1000	DOVE GRAY	
RED METAL BAND WITH RED LED LIGHT STRIP	SEE ELECTRICAL DRWS.		HERITAGE RED (PM-18)	
EMERG. OVERFLOW SPOUT	SEE PLUMBING DRWS.		DOVE GRAY A01	



Pond



 <p>EAGLE ENGINEERING PROFESSIONAL ENGINEERS 7835 COUNCIL PLACE, SUITE 102 MATTHEWS, NC 28105 (704) 864-0222 eagleeng.com</p>									
DATE	BY								
<p>SAM'S XPRESS CAR WASH 1713 WEST MAIN STREET LOCUST, NC 28097 SAM'S XPRESS CARWASH 7835 COUNCIL PLACE, SUITE 102 MATTHEWS, NC 28105</p>									
<p>POND AMENITY SITE PLAN</p> <table border="1"> <tr> <td>DATE</td> <td>BY</td> <td>SCALE</td> <td>PROJECT NO.</td> </tr> <tr> <td>11/11/2024</td> <td>SAF</td> <td>1/8" = 1'-0"</td> <td>243-00000-1773</td> </tr> </table>		DATE	BY	SCALE	PROJECT NO.	11/11/2024	SAF	1/8" = 1'-0"	243-00000-1773
DATE	BY	SCALE	PROJECT NO.						
11/11/2024	SAF	1/8" = 1'-0"	243-00000-1773						
<p>CSP-10</p>									