



City of Locust
Post Office Box 190
Locust, North Carolina 28097-0190
(704) 888-5260

Application for Conditional Zoning Change

Date: January 6, 2025

Applicant Name: Cook Out-Locust, Inc.

Company Name (if applicable) _____

Address: 15 Laura Lane Thomasville, North Carolina ~~27630~~ 27360

Phone Number: 336-431-1094

Address of Property Change: 222 James Avenue

Present Zoning District: HC-CU

Requested Zoning District: HC-CU

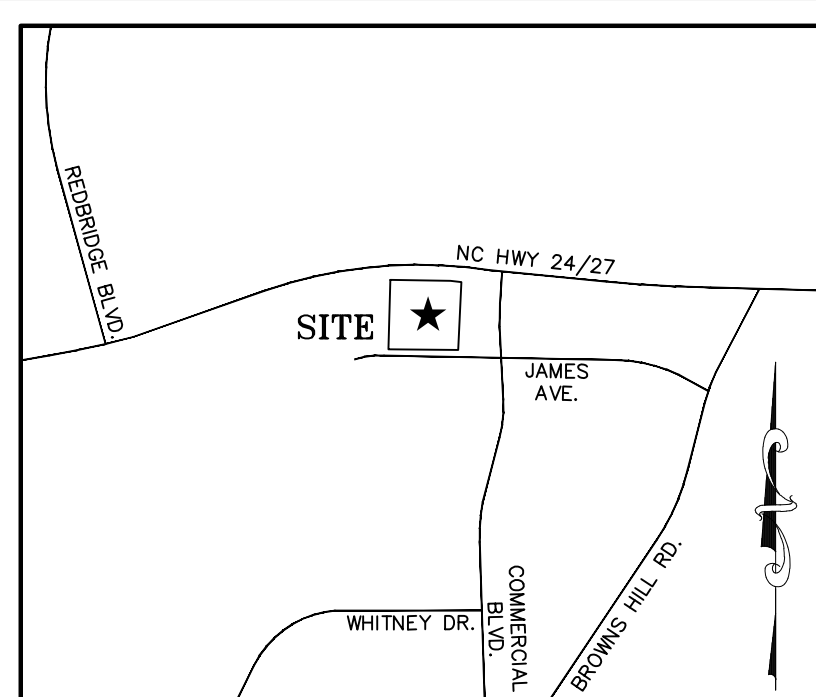
Applicant Signature: 
Jeremy A. Reaves, President

The following information is required with the application:

- (1) Map of the property to be rezoned, accurate description to show the following:
 - a. All property lines with dimensions, north arrow.
 - b. Names and addresses of adjoining landowners.
 - c. Location of all existing structures, use of all land.
 - d. Zoning classifications of all abutting zoning districts.
- (2) Comprehensive site plan.
- (3) Color renderings of the exterior.
- (4) Comprehensive landscape plan
- (5) All signage "monument and building"
- (6) A fee of \$500 (non- refundable) must accompany this application.

COOK OUT

222 JAMES AVENUE LOCUST, NORTH CAROLINA



ZONING CODE SUMMARY

PROJECT NAME: COOKOUT-LOCUST
 PLANS PREPARED BY: THE ISAACS GROUP, P.C. PHONE #: 704-527-3440
 ZONING: HC-CU JURISDICTION: CITY OF LOCUST
 PARCEL ID: 556504504663
 YARD REQUIREMENTS:
 SETBACK (FRONT): 30
 SIDE YARD (L): 20 FT. SIDE YARD (R): 20 FT.
 REAR YARD: 20 FT.
 LOT SIZE: 1.14 ACRES NUMBER OF UNITS/SUITES: 1
 EXISTING USE: VACANT PROPOSED USE: FAST FOOD RESTAURANT
 BUILDING HEIGHT: 26 FEET STORIES: 1
 GROSS FLOOR AREA: 3,206 SQ. FEET
 PARKING REQUIRED:
 1 SPACE PER 500 S.F. = (3,206/500) = 7 SPACES REQUIRED
 REQUIRED: 7 PROVIDED: 20 HANDICAP: 1
 BICYCLE PARKING:
 REQUIRED TO PROVIDE A BIKE RACK

LANDSCAPE LEGEND

SYMBOL	SPECIES	QUANTITY
	WILLOW OAK MIN CALIPER: 2.0" MIN HEIGHT: 8.0'	12
	SUGAR MAPLE MIN CALIPER: 2.0" MIN HEIGHT: 8.0'	3
	EASTERN RED BUD MIN CALIPER: 2.0" MIN HEIGHT: 8.0'	8
	BURFORD HOLLY ILEX CORNUTA BURFORDI MIN HEIGHT: 2.0'; MIN WIDTH: 2.0' (MIN 5 GAL. AT PLANTING, 5' O.C.)	160

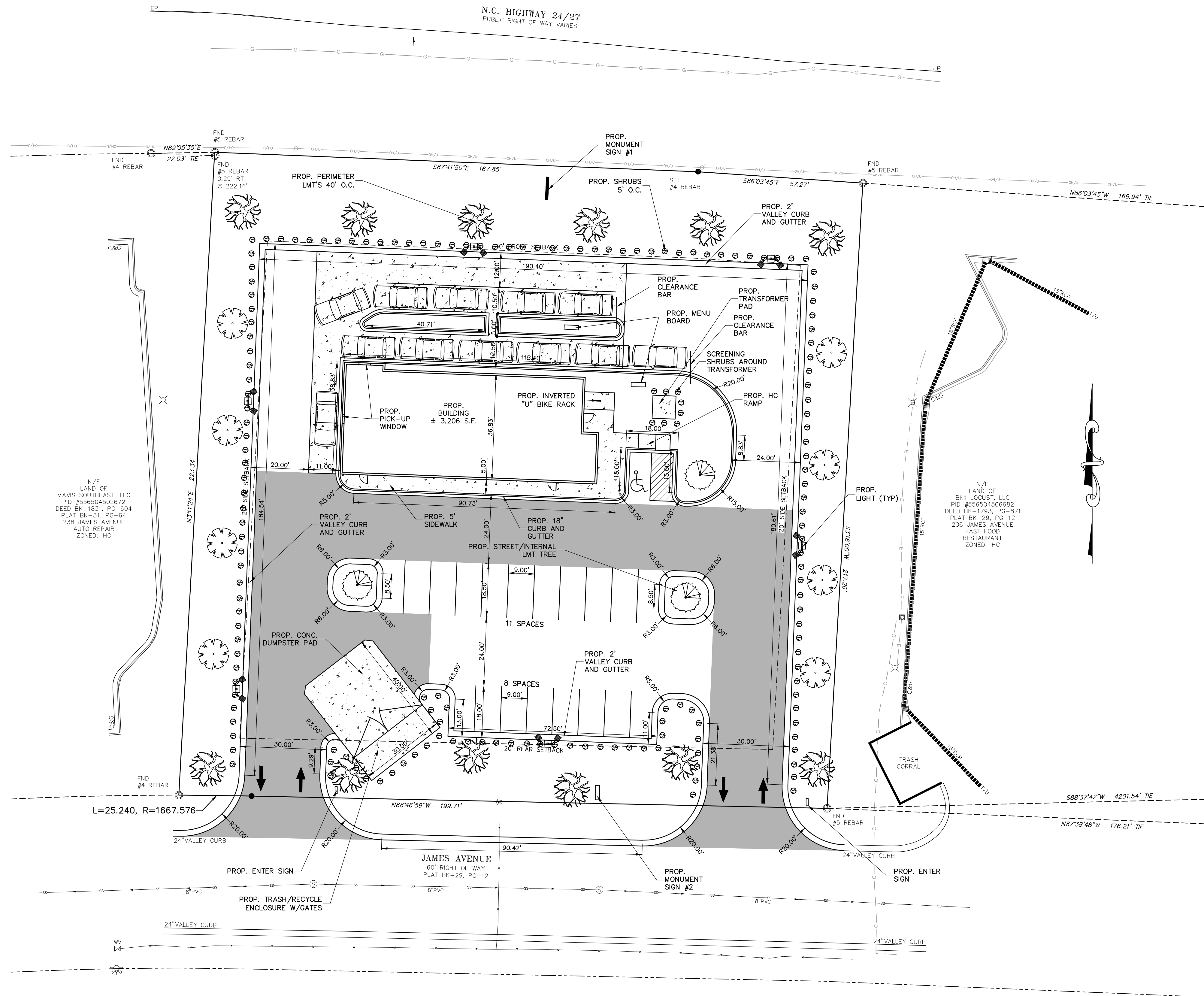
JAMES AVENUE:
 225' L.F. OF ROAD FRONTAGE
 225/40 = 6 TREES REQUIRED
 6 LMT PROVIDED

N.C. HIGHWAY 27:
 225' L.F. OF ROAD FRONTAGE
 225/40 = 6 TREES REQUIRED
 6 LMT PROVIDED

INTERIOR PLANTING REQUIREMENTS
 SCREENING SHALL BE PROVIDED ALONG THE PARKING LOT THROUGH SHRUBS
 LARGE MATURING TREES SHALL LINE THE PARKING LOT (MAX. 40' ON CENTER)
 EACH SECTION OF PARKING SHALL BE ENCLOSED BY A LARGE MATURING TREE

GENERAL NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP. THE PHYSICAL AND TOPOGRAPHIC DATA PROVIDED IN THESE DRAWINGS HAS BEEN COMPILED BY THE ISAACS GROUP AND THE ENGINEER OF RECORD (ENGINEER) IN SUPPORT OF THIS PROJECT AND CANNOT BE RELIED UPON BY OTHERS. "THE ISAACS GROUP" AND "THE ENGINEER OF RECORD" SHALL DEFINE THE TERM OF "ENGINEER" USED IN THE SUBSEQUENT NOTES.
- THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN AND THE UTILITIES SHOWN ON THIS PLAN MAY NOT BE IN THE EXACT LOCATIONS AS SHOWN. THE ISAACS GROUP, P.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR ANY OMISSIONS IN SHOWING EXISTING UTILITIES THAT MAY BE WITHIN THE PROJECT AREA. THE CONTRACTOR IS 100% RESPONSIBLE FOR UTILIZING A PRIVATE LOCATOR AND APPROPRIATE UTILITY COMPANIES TO LOCATE THE SIZE, LOCATION, INVERTS, DEPTHS AND EXISTENCE OF ALL EXISTING UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, FIBER OPTIC, GAS, ETC.) TO HIS/HER SATISFACTION PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVITIES. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE ISAACS GROUP, P.C. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- PROPOSED EXTERIOR ELEVATIONS ALONG BUILDING AND RETAINING WALLS ARE BASED UPON THE SITE GRADING AND DRAINAGE CONSTRAINTS IDENTIFIED BY THE ENGINEER. THE OWNER / DEVELOPER / PROJECT MANAGER IS RESPONSIBLE FOR ENSURING THE ARCHITECT AND STRUCTURAL ENGINEER ARE PROPERLY COORDINATING THE BUILDING EXTERIOR WALL AND RETAINING WALL ELEVATIONS BASED UPON THESE CIVIL DRAWINGS. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND DRAWINGS PREPARED BY OTHER DESIGN CONSULTANTS NOT SUBCONTRACTING DIRECTLY WITH THE ISAACS GROUP / ENGINEER SHOULD BE REPORTED IMMEDIATELY UPON DISCOVERY AS NEEDED TO RESOLVE.
- PROPOSED DUMPSTER ENCLOSURES SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY. ALL FINAL STRUCTURAL AND ARCHITECTURAL DETAILS AND SPECIFICATIONS FOR DUMPSTER ENCLOSURES SHALL BE PROVIDED BY OTHERS. THE OWNER / DEVELOPER / PROJECT MANAGER IS RESPONSIBLE FOR ENSURING THE FINAL DUMPSTER ENCLOSURE DETAILS FOR CONSTRUCTION ARE COORDINATED BETWEEN ALL DISCIPLINES. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND DRAWINGS PREPARED BY OTHER DESIGN CONSULTANTS NOT SUBCONTRACTING DIRECTLY WITH THE ISAACS GROUP / ENGINEER SHOULD BE REPORTED IMMEDIATELY UPON DISCOVERY AS NEEDED TO RESOLVE.
- PROPOSED LOCATIONS AND SIZES OF UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE BASED UPON DESIGN CONSTRAINTS IDENTIFIED BY THE ENGINEER AND SHOULD BE VERIFIED BY THE CONTRACTOR TO ENSURE CONSISTENCY WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS TO ENSURE PROPER COORDINATION AND PLAN CONSISTENCY. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND DRAWINGS PREPARED BY OTHER DESIGN CONSULTANTS NOT SUBCONTRACTING DIRECTLY WITH THE ISAACS GROUP / ENGINEER SHOULD BE REPORTED IMMEDIATELY UPON DISCOVERY AS NEEDED TO RESOLVE.



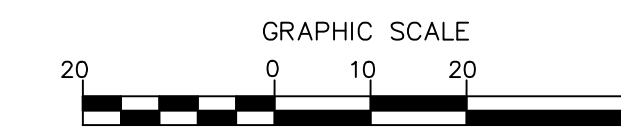
FLOOD CERTIFICATION:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 371055-6500-L, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 16, 2018 AND IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



Know what's below.
Call before you dig.

THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY WHEN PERFORMING SITE EXCAVATION. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.



NO.	BY	DATE	REVISION

CONTACT INFORMATION:

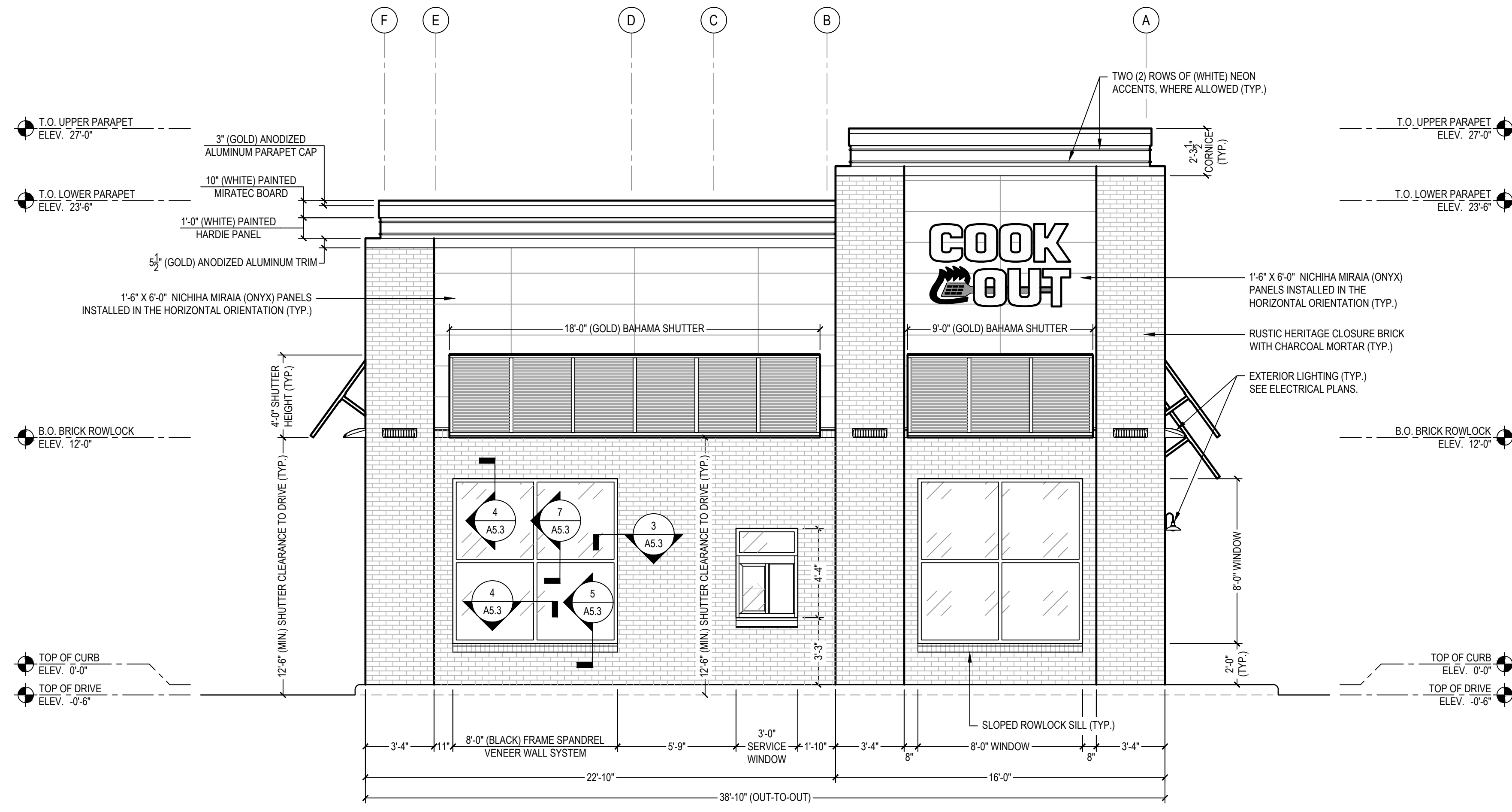
ENGINEER: THE ISAACS GROUP, P.C.
 8720 RED OAK BLVD., SUITE 420
 CHARLOTTE, NC 28217
 PH: 704-527-9406
 FAX: 704-527-8335
 POC: BRIAN UPTON, P.E.
 EMAIL: BUPTON@ISAACSGRP.COM

OWNER/DEVELOPER: COOKOUT CORPORATE INC
 15 LAURA LANE
 THOMASVILLE, NC 27360
 PH: 336-431-1094
 POC: JEREMY REAVES
 EMAIL: jreaves@cookout.com

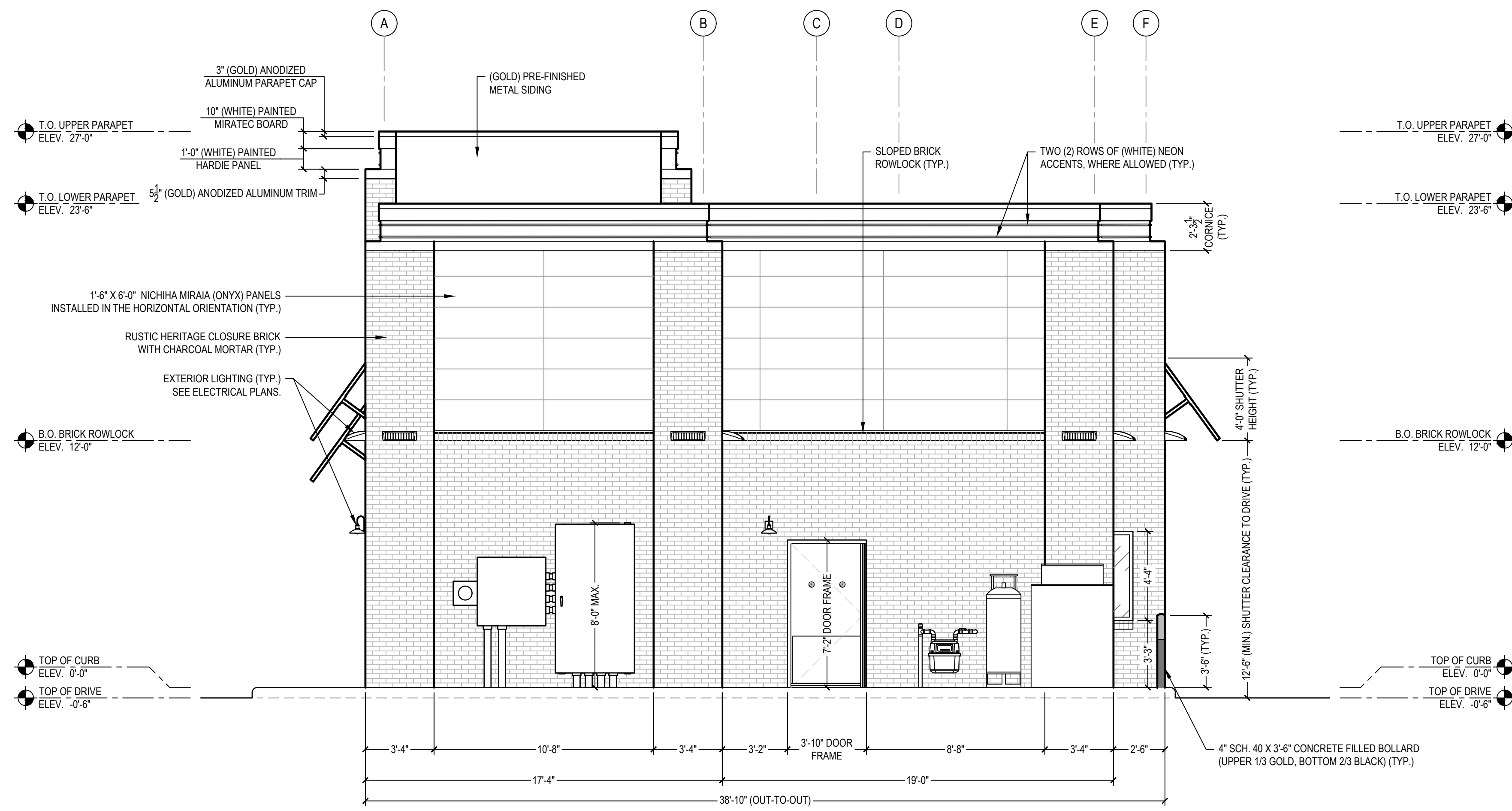
CONTRACTOR: TO BE DETERMINED

**PRELIMINARY
FOR REVIEW PURPOSES ONLY**

Project: COOK OUT LOCUST, NORTH CAROLINA		Title: CONDITIONAL ZONING	
File #2300-FR060	Date: 2/14/25	Project Egr: FBL	Design By: FBL
		Drawn By: FBL	Scale: 1"=20'
8720 RED OAK BOULEVARD, SUITE 420 CHARLOTTE, N.C. 28217 PHONE (704) 527-3440 FAX (704) 527-8335			
			CZ1.0



1 FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH DESIGNATIONS

BRICK VENEER SPECIFICATION:		
MANUFACTURER:	STATESVILLE BRICK CO.	
BRICK SERIES:	RUSTIC HERITAGE CLOSURE BRICK	
MORTAR COLOR:	AUTHENTIC TUMBLED SERIES CHARCOAL (TYPE S)	
NICHIHA ARCHITECTURAL WALL PANEL SPECIFICATION:		
PANEL SERIES:	MIRIA	
FINISH COLOR:	HIGH-GLOSS / ONYX	
PANEL ORIENTATION:	HORIZONTAL	
MATERIAL TYPE:	FIBER CEMENT	

PAINT COLOR DESIGNATIONS

PLAN COLOR: BLACK		
MANUFACTURER:	SHERWIN-WILLIAMS	
PRODUCT NUMBER:	SW 6990	
PRODUCT NAME:	CAVIAR	
PAINT FINISH:	FLAT	
PLAN COLOR: WHITE		
MANUFACTURER:	SHERWIN-WILLIAMS	
PRODUCT NUMBER:	SW 7070	
PRODUCT NAME:	SITE WHITE	
PAINT FINISH:	FLAT	
PLAN COLOR: GOLD		
MANUFACTURER:	OWNER TO SPECIFY	
PRODUCT NUMBER:	OWNER TO SPECIFY	
PRODUCT NAME:	OWNER TO SPECIFY	
PAINT FINISH:	FLAT	

PRODUCT CONTACT INFORMATION

NICHIHA ARCHITECTURAL WALL PANELS:	
CONTACT NAME:	BEN DALZIEL
EMAIL ADDRESS:	BDALZIEL@NICHIHA.COM
PHONE NUMBER:	404.432.5866
WEBSITE:	WWW.NICHIHA.COM
SCOTT STONE, INC.:	
CONTACT NAME:	RANDY CLAYTON
EMAIL ADDRESS:	RANDY.CLAYTON@SCOTTSTONE.COM
PHONE NUMBER:	919.563.3469
WEBSITE:	WWW.SCOTTSTONE.COM

STATESVILLE BRICK CO.:

CONTACT NAME:	SCOTT RANKIN
EMAIL ADDRESS:	BRICKSALES@STATESVILLEBRICK.COM
PHONE NUMBER:	704.872.4123
WEBSITE:	WWW.STATESVILLEBRICK.COM

QUIKSERV SERVICE WINDOWS:

CONTACT NAME:	BRIAN MCCLOSKEY
EMAIL ADDRESS:	BMC@QUIKSERV.COM
PHONE NUMBER:	832.792.2646
WEBSITE:	WWW.QUIKSERV.COM

WINDOWS AND GLASS:

COMPANY NAME:	ABSOLUTE GLASS, INC.
CONTACT NAME:	ANTHONY REVIS
EMAIL ADDRESS:	AREVIS@ABSOLUTEGLASSNC.COM
PHONE NUMBER:	336.516.3521
WEBSITE:	ABSOLUTEGLASSNC.COM

GENERAL NOTES

- ALL WORK SHALL BE INSTALLED TO MEET CURRENT STATE AND LOCAL BUILDING CODE REQUIREMENTS, LATEST REVISION.
- GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS AND EQUIPMENT DURING PROJECT DURATION.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL PLANS FOR ADDITIONAL WORK THAT MAY OR MAY NOT BE SHOWN ON THIS DRAWING.
- VERIFY ALL FINISHES, PAINT COLORS, ETC. WITH OWNER PRIOR TO INSTALLATION OR APPLICATION.
- CONTRACTOR SHALL BE RESPONSIBLE TO INFORM OWNER OF ALL SPECIFIC MATERIALS THAT ARE UNAVAILABLE DUE TO SHORTAGES OR OTHER LACK OF MATERIAL ACCESSIBILITY.
- ALL WINDOW AND STOREFRONT FRAMES SHALL BE BLACK ANODIZED ALUMINUM.
- AWNINGS SHALL BE POWDER COATED.
- SIGNAGE SUBJECT TO CHANGE BASED ON SIGN MANUFACTURER SUBMITTED DOCUMENTS TO MUNICIPALITY.
- ADDRESS NUMBERS ON THE EXTERIOR OF THE BUILDING SHALL BE VIEWED FROM THE ROAD AND BE AT LEAST 6-INCH TALL WITH A 3/4" BRUSHSTROKE WIDTH OF A CONTRASTING COLOR. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHALL.
- VERIFY ALL EXTERIOR LIGHTING WITH ELECTRICAL PLANS.

BRIAN LATHROP, ARCHITECT
Healthcare Architecture Planning Project Analysis Interiors
2 Flower Hill Ln Palm Coast, FL 32137 (770) 993-7300
This drawing and all prints of it are the property of Brian Lathrop, Architect. Prints are to be returned upon completion of use for which they were issued. Reproductions of this drawing without written consent is not permitted and Brian Lathrop, Architect retains all common law, statutory and other reserved rights including the copyright therein.

REV. DATE DESCRIPTION
NO. 0 10.28.24 PERMIT GET

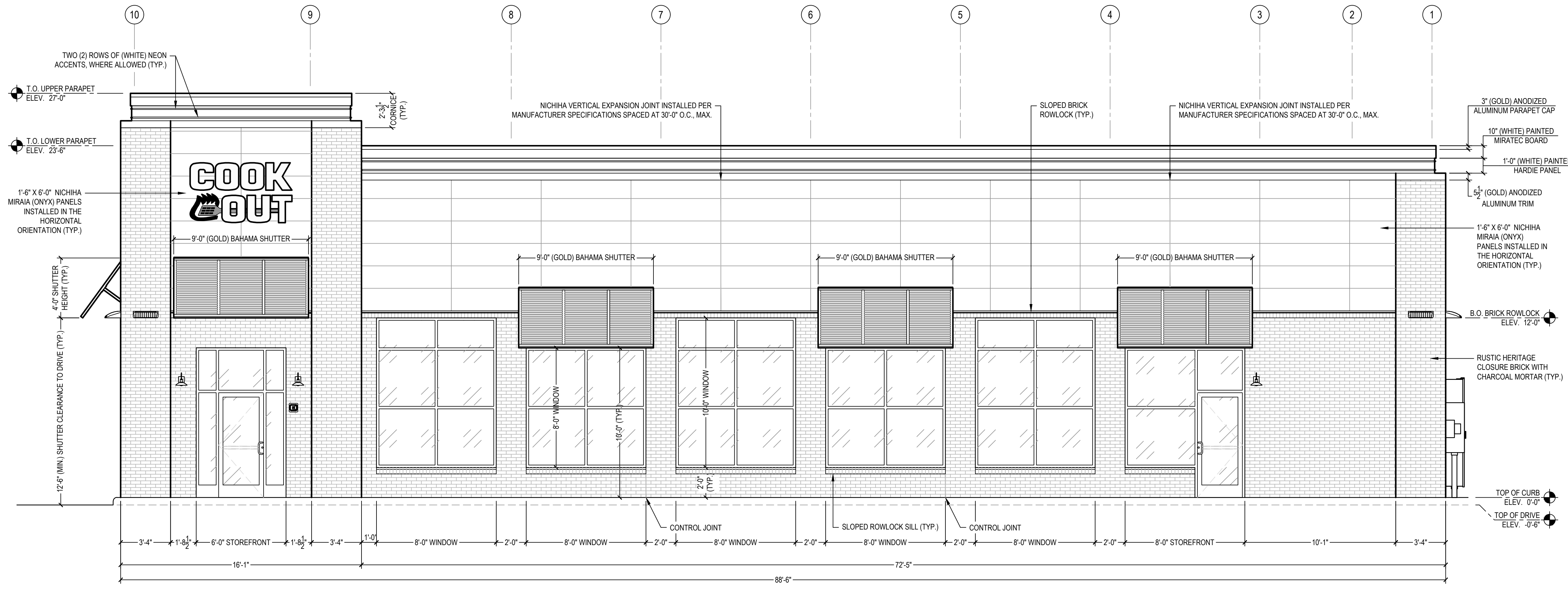
COOK OUT RESTAURANTS
222 JAMES AVENUE
STANLY COUNTY, LOCUST TOWNSHIP - NORTH CAROLINA

BUILDING PLANS FOR

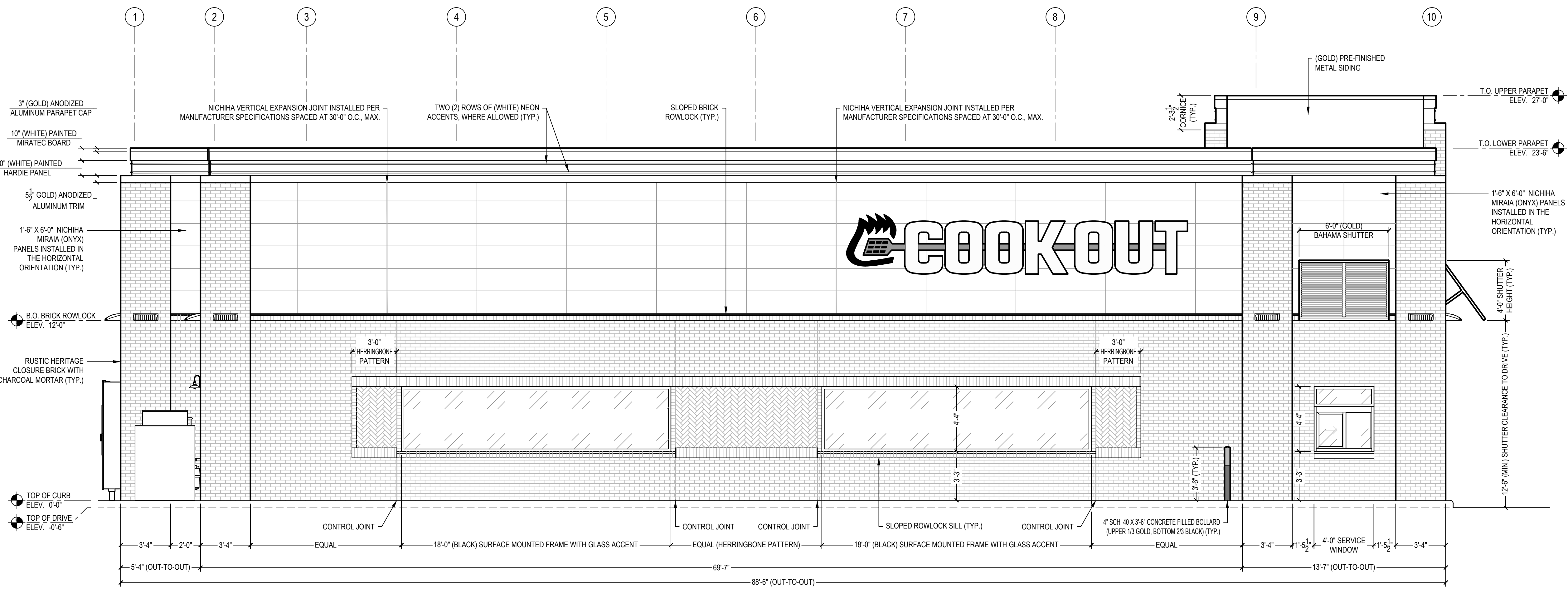
KEY PLAN

JOB NO. E-7844
DRAWN SEA
CHECKED SEA
DATE 01.30.2025
TITLE EXTERIOR ELEVATIONS
SHEET NO.

LOCUST, NORTH CAROLINA



1 RIGHT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH DESIGNATIONS

BRICK VENEER SPECIFICATION:	
MANUFACTURER:	STATESVILLE BRICK CO.
BRICK SERIES:	RUSTIC HERITAGE CLOSURE BRICK AUTHENTIC TUMBLED SERIES
MORTAR COLOR:	CHARCOAL (TYPE S)

NICHIHA ARCHITECTURAL WALL PANEL SPECIFICATION:	
PANEL SERIES:	MIRIA
FINISH / COLOR:	HIGH-GLOSS / ONYX
PANEL ORIENTATION:	HORIZONTAL
MATERIAL TYPE:	FIBER CEMENT

PAINT COLOR DESIGNATIONS

PLAN COLOR:	BLACK
MANUFACTURER:	SHERWIN-WILLIAMS
PRODUCT NUMBER:	SW 6990
PRODUCT NAME:	CAVIAR
PAINT FINISH:	FLAT

PLAN COLOR:	WHITE
MANUFACTURER:	SHERWIN-WILLIAMS
PRODUCT NUMBER:	SW 7070
PRODUCT NAME:	SITE WHITE
PAINT FINISH:	FLAT

PLAN COLOR:	GOLD
MANUFACTURER:	OWNER TO SPECIFY
PRODUCT NUMBER:	OWNER TO SPECIFY
PRODUCT NAME:	OWNER TO SPECIFY
PAINT FINISH:	FLAT

PRODUCT CONTACT INFORMATION

NICHIHA ARCHITECTURAL WALL PANELS:	
CONTACT NAME:	BEN DALZIEL
EMAIL ADDRESS:	BDALZIEL@NICHIHA.COM
PHONE NUMBER:	404.432.5866
WEBSITE:	WWW.NICHIHA.COM

SCOTT STONE, INC.:	
CONTACT NAME:	RANDY CLAYTON
EMAIL ADDRESS:	RANDY.CLAYTON@SCOTTSTONE.COM
PHONE NUMBER:	919.563.3469
WEBSITE:	WWW.SCOTTSTONE.COM

STATESVILLE BRICK CO.:	
CONTACT NAME:	SCOTT RANKIN
EMAIL ADDRESS:	BRICKSALES@STATESVILLEBRICK.COM
PHONE NUMBER:	704.872.4123
WEBSITE:	WWW.STATESVILLEBRICK.COM

QUIKSERV SERVICE WINDOWS:	
CONTACT NAME:	BRIAN MCCLOSKEY
EMAIL ADDRESS:	BRIAN.MCCLOSKEY@QUIKSERV.COM
PHONE NUMBER:	832.792.2646
WEBSITE:	WWW.QUIKSERV.COM

WINDOWS AND GLASS:

COMPANY NAME:	ABSOLUTE GLASS, INC.
CONTACT NAME:	ANTHONY REVIS
EMAIL ADDRESS:	AREVIS@ABSOLUTEGLASSNC.COM
PHONE NUMBER:	336.516.3521
WEBSITE:	ABSOLUTEGLASSNC.COM

- GENERAL NOTES**
- ALL WORK SHALL BE INSTALLED TO MEET CURRENT STATE AND LOCAL BUILDING CODE REQUIREMENTS, LATEST REVISION.
 - GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS AND EQUIPMENT DURING PROJECT DURATION.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL PLANS FOR ADDITIONAL WORK THAT MAY OR MAY NOT BE SHOWN ON THIS DRAWING.
 - VERIFY ALL FINISHES, PAINT COLORS, ETC. WITH OWNER PRIOR TO INSTALLATION OR APPLICATION.
 - CONTRACTOR SHALL BE RESPONSIBLE TO INFORM OWNER OF ALL SPECIAL MATERIALS THAT ARE UNAVAILABLE DUE TO SHORTAGES OR OTHER LOGISTICS MATERIAL ACCESSIBILITY.
 - ALL WINDOW AND STOREFRONT FRAMES SHALL BE BLACK ANODIZED ALUMINUM.
 - AWNINGS SHALL BE POWDER COATED.
 - SIGNAGE SUBJECT TO CHANGE BASED ON SIGN MANUFACTURER SUBMITTALS TO MUNICIPALITY.
 - ADDRESS NUMBERS ON THE EXTERIOR OF THE BUILDING SHALL BE VISIBLE FROM THE ROAD AND BE AT LEAST 6-INCH TALL WITH A 3/16" BRUSHSTROKE WIDTH OF A CONTRASTING COLOR. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHALL.
 - VERIFY ALL EXTERIOR LIGHTING WITH ELECTRICAL PLANS.

BRIAN LATHROP, ARCHITECT
Healthcare Architecture Planning Project Analysis Interiors
2 Flower Hill Ln. Palm Coast, FL 32137 (770) 993-7300
This drawing and all prints of it are the property of Brian Lathrop, Architect. Prints are to be returned to the office of origin. No reproduction or distribution of this drawing or any part thereof is permitted without the written consent of Brian Lathrop, Architect. Architect retains all copyright, title, and other reserved rights including the copyright thereof.

REV. NO.	DATE	DESCRIPTION
0	10.28.24	PERMIT SET

COOK OUT RESTAURANTS
222 JAMES AVENUE
STANLY COUNTY - LOCUST TOWNSHIP - NORTH CAROLINA

PRELIMINARY FOR REVIEW ONLY

BUILDING PLANS FOR

KEY PLAN

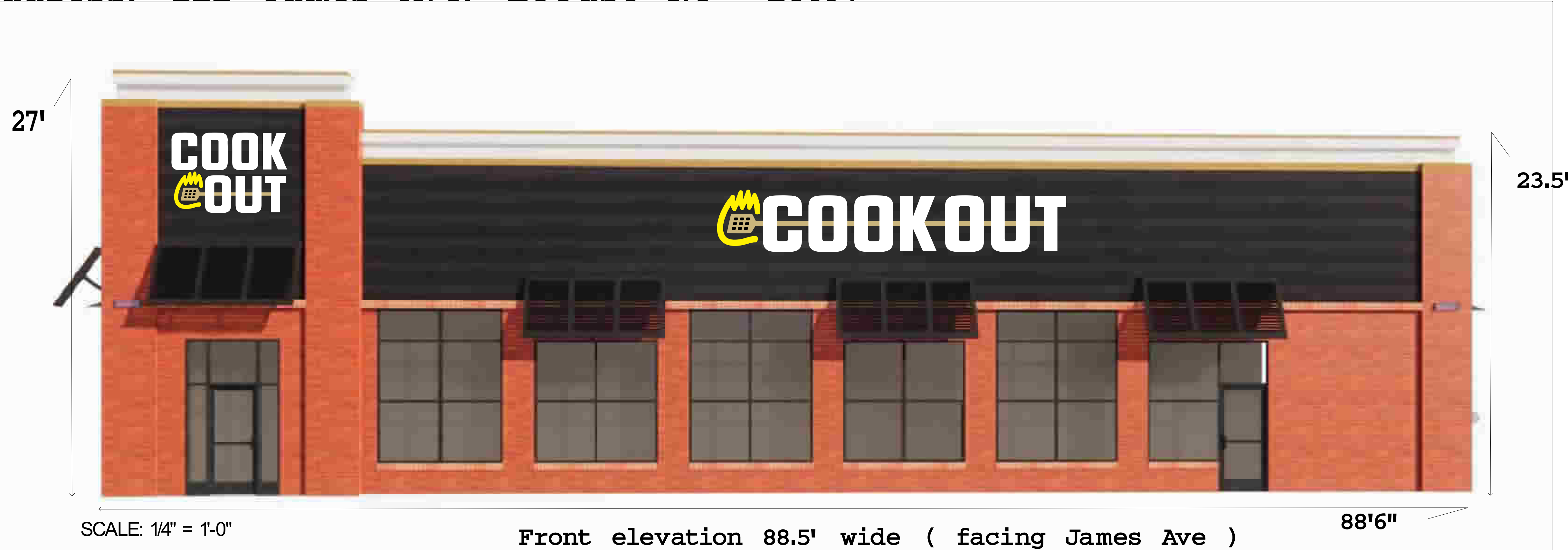
JOB NO.:	E-7844
DRAWN:	SEA
CHECKED:	SEA
DATE:	01.30.2025

TITLE: EXTERIOR ELEVATIONS

SHEET NO. _____

Locust NC Cook Out building wall signs drawing

Address: 222 James Ave. Locust NC 28097

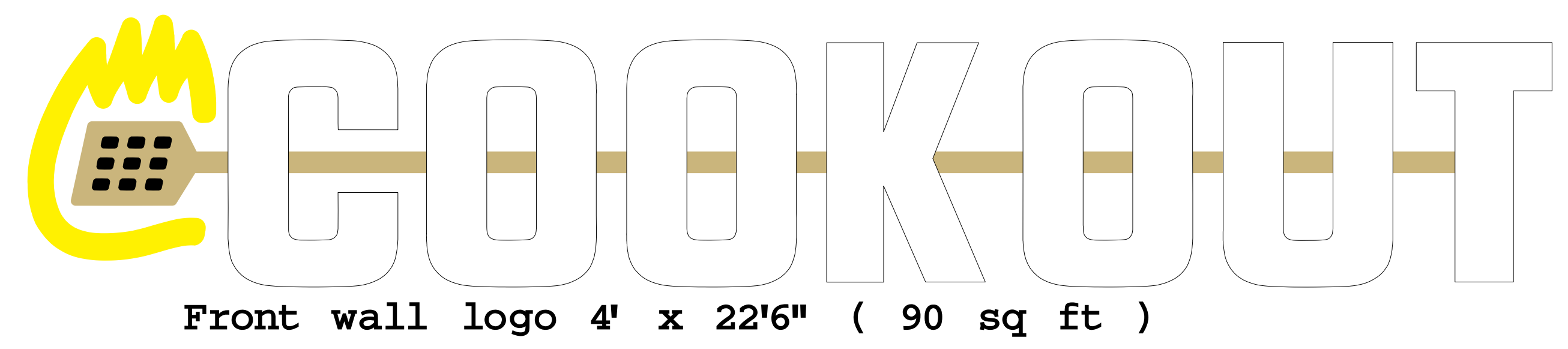


SCALE: 1/4" = 1'-0" Front elevation 88.5' wide (facing James Ave) 88'6"

SCALE: 1/4" = 1'-0" 38'10"

Front wall signs: - 126.25 sq ft

Cook out logo
individually mounted LED
(white GE) lighted channel
letters / logo - white
plastic w white trim and
returns, Flame - yellow
plastic w yellow trim and
returns / UL listed



Left elevation - 36.6 sq. ft.
(slanted view of Hwy 24/27)



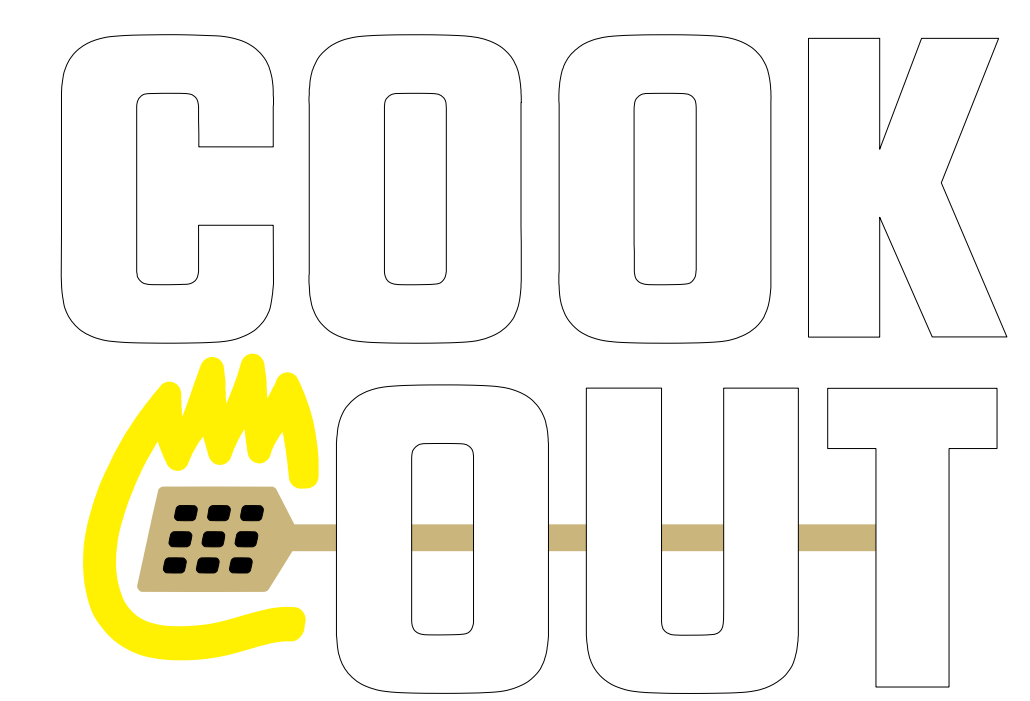
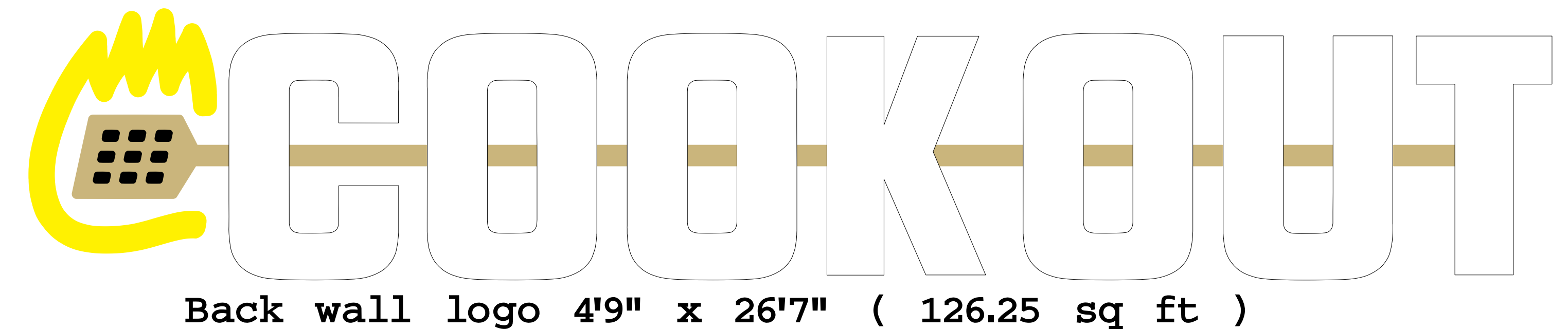
Right elevation - 36.6 sq.ft.
(view of Commercial Blvd)



Front elevation 88.5' wide (facing Hwy 24/27) 88'6"

Back wall signs: - 126.6 sq ft TOTAL

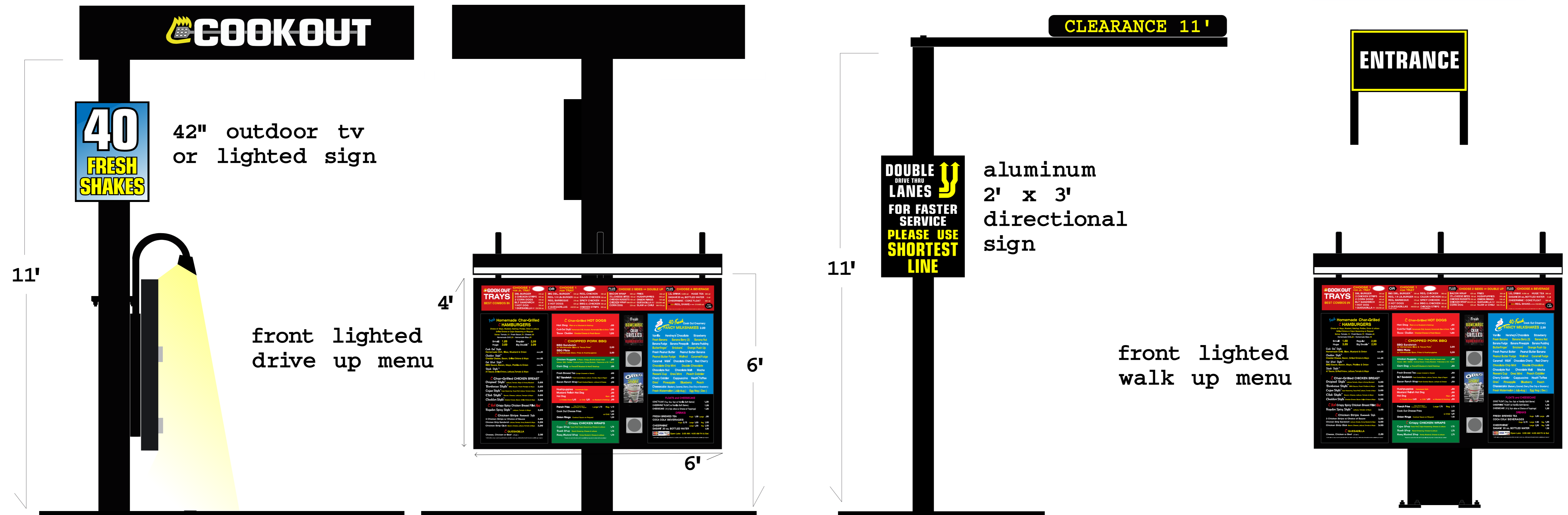
Cook out logos
individually mounted LED
(white GE) lighted channel
letters / logo - white
plastic w white trim and
returns, Flame - yellow
plastic w yellow trim and
returns / UL listed



Front tower wall logo
62" x 85" (36.6 sq ft)

Right & Left wall signs:
Cook out logo
individually mounted LED
(white GE) lighted channel
letters / logo - white
plastic w white trim and
returns, Flame - yellow
plastic w yellow trim and
returns / UL listed

Locust NC Cook Out building wall signs drawing
 Address: 222 James Ave. Locust NC 28097



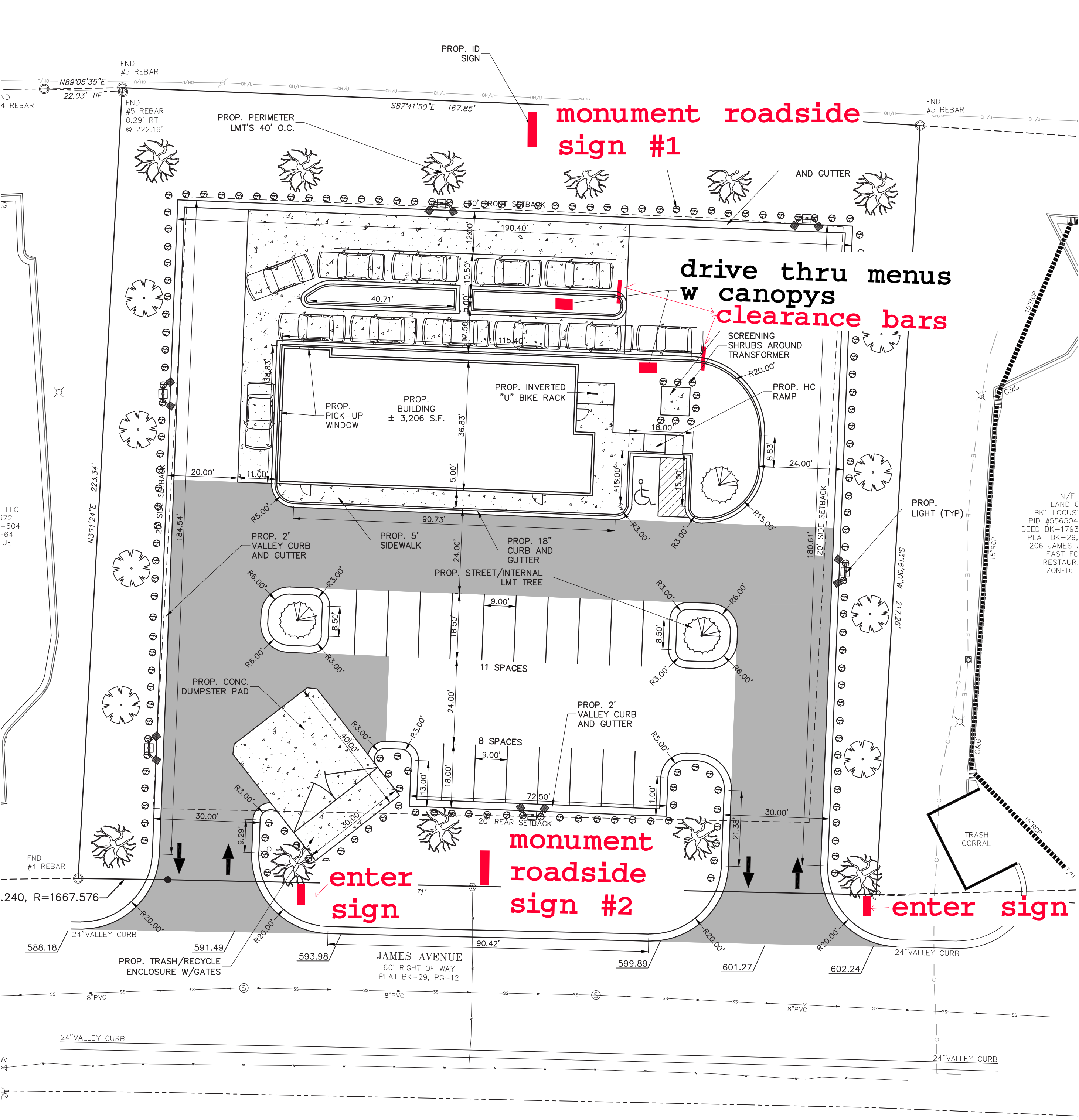
(2) roadside monument style roadside signs - 50 sf each
 14'3" over all width



LED lighted channel letter style logos (UL listed)
 on a powder coated aluminum cabinet w decorative top cap and lower trim
 - base: brick to match the building



803-533-7446
 313 John C Calhoun Drive
 Orangeburg SC 29115
 Linford Oberholtzer
 lin@brandritesign.com
 Mobile 803-707-4512



monument roadside sign #1

drive thru menus w canopies clearance bars

enter sign

monument roadside sign #2

enter sign

FND #5 REBAR
N89°05'35"E
22.03' TIE

PROP. PERIMETER LMT'S 40' O.C.

PROP. ID SIGN

FND #5 REBAR

AND GUTTER

SCREENING SHRUBS AROUND TRANSFORMER

PROP. BUILDING ± 3,206 S.F.

PROP. INVERTED "U" BIKE RACK

PROP. HC RAMP

PROP. 2' VALLEY CURB AND GUTTER

PROP. 5' SIDEWALK

PROP. 18" CURB AND GUTTER

PROP. STREET/INTERNAL LMT TREE

PROP. LIGHT (TYP)

11 SPACES

PROP. 2' VALLEY CURB AND GUTTER

8 SPACES

PROP. CONC. DUMPSTER PAD

TRASH CORRAL

N/F LAND C BK1 LOCUS PID #556504 DEED BK-1793 PLAT BK-29, 206 JAMES, FAST FC RESTAUR ZONED:

FND #4 REBAR

.240, R=1667.576

588.18

591.49

593.98

JAMES AVENUE
60' RIGHT OF WAY
PLAT BK-29, PG-12

599.89

601.27

602.24

24" VALLEY CURB

8" PVC

8" PVC

8" PVC

8" PVC

24" VALLEY CURB